



VICINITY MAP
SCALE: 1"=2,000'

MULTIFAMILY DEVELOPMENT

25 ADAMS CIRCLE
DEVENS, MASSACHUSETTS

LEVEL 2 UNIFIED PERMIT SET
JULY 2025

REVISED SEPTEMBER 2025

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SURVEY				
15	SV01	EXISTING CONDITIONS	7/31/2025	



SITE MAP
SCALE: 1"=200'

REFERENCE: ORTHORGRAPHIC AERIAL IMAGERY AND MAPS ARE BASED ON GIS DATA OBTAINED FROM MASSGIS PROVIDED BY THE BUREAU OF GEOGRAPHIC INFORMATION (MASSGIS), COMMONWEALTH OF MASSACHUSETTS, EXECUTIVE OFFICE OF TECHNOLOGY AND SECURITY SERVICES.

APPROVED BY DEVENS ENTERPRISE COMMISSION

CHAIRPERSON / DESIGNEE

DATE

OWNER/TEAM INFORMATION

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SITE DATA

ADDRESS: 25 ADAMS CIRCLE
DEVENS, MA 01434
PARCEL I.D.: 26-10-100
TOTAL AREA: 2.1 ACRES
ZONING DISTRICT: RESIDENTIAL II

REVISION RECORD

NO	DATE	DESCRIPTION
1	9/15/2025	RESPONSE TO COMMENTS

ENGINEERING, SURVEYING AND LANDSCAPE ARCHITECTURE IN THE STATE OF NORTH CAROLINA WILL BE PROVIDED BY CEC SURVEYING AND LANDSCAPE ARCHITECTS OF N.C., P.L.L.C. SERVICES IN PUERTO RICO WILL BE PROVIDED BY CEC SURVEYING AND LANDSCAPE ARCHITECTS OF N.C., P.L.L.C. ARCHITECTURE SERVICES IN THE STATE OF OHIO WILL BE PROVIDED BY CEC LANDSCAPE ARCHITECTS, LLC.

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Civil & Environmental
Consultants, Inc.

REFRAME SYSTEMS
MULTIFAMILY DEVELOPMENT
25 ADAMS CIRCLE
DEVENS (HARVARD), MASSACHUSETTS

COVER SHEET

DATE:	JULY 31, 2025	DRAWN BY:	ITB
DWG SCALE:	AS SHOWN	CHECKED BY:	BEP
PROJECT NO:	348-019		
APPROVED BY:			IKB

DRAWING NO:

C000

SHEET 1 OF 15

PERMIT SET
NOT FOR CONSTRUCTION



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GENERAL NOTES

- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND DEVENS ENTERPRISE COMMISSION IMMEDIATELY.
- EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PERFORMED BY FELDMAN GEOSPATIAL AS SHOWN ON PLAN ENTITLED "EXISTING CONDITIONS PLAN OF LAND 25 ADAMS CIRCLE DEVENS (HARVARD), MASS.," DATED APRIL 24, 2025.
- THE UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. INVERT ELEVATIONS FOR SANITARY SEWER AND DRAINAGE INFRASTRUCTURE ARE SHOWN BASED ON RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES LOCATED HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES LOCATED ARE IN THE EXACT LOCATION INDICATED.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES (INCLUDING THOSE LABELED PER RECORD DATA) PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS. INFORM ENGINEER AND DEVENS ENTERPRISE COMMISSION OF ANY CONFLICTS DETRIMENTAL TO THE DESIGN INTENT.
- THE CONTRACTOR SHALL CALL DIGSAFE AT 1-800-322-4844 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER AND ENGINEER PRIOR TO EXCAVATION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND OWNER'S REPRESENTATIVE FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK.
- ANY WORK PERFORMED IN RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE APPLICABLE LOCAL OR STATE REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS FOR THE WORK, SCHEDULE NECESSARY INSPECTIONS, AND PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES, ETC., FOR WORK PERFORMED IN THE RIGHT OF WAYS.
- THE CONTRACTOR IS TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE UNITED STATES EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND FURNISH OWNERS REPRESENTATIVE WITH WRITTEN REPORTS.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN, STORM WATER POLLUTION PREVENTION PLAN AND STATE AND LOCAL REGULATIONS.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH SPECIFICATIONS. IF NO SPECIFICATIONS ARE SUPPLIED, USE STATE OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- ITEM NUMBERS REFER TO THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, AND ALL CONSTRUCTION SHALL COMPLY WITH THE DEVENS ENTERPRISE COMMISSION CONSTRUCTION SPECIFICATIONS & STANDARD DETAILS, LATEST REVISION. WHEN IN CONFLICT, THE DEVENS ENTERPRISE COMMISSION REQUIREMENTS SHALL PREVAIL.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT AND THE COMMONWEALTH OF MASSACHUSETTS 521 CMR ARCHITECTURAL ACCESS BOARD.
- THE CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICTS ALL WORK ASSOCIATED WITH THE PROJECT.
- BEFORE INSTALLATION OF STORM OR SANITARY SEWER, OR OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
- ADJUST/RECONSTRUCT ALL EXISTING CASTINGS, CLEANOUTS, ETC. WITHIN PROJECT AREA TO GRADE AS REQUIRED.
- CONTRACTOR TO REMOVE & REPLACE PAVEMENT AS SPECIFIED.
- SITE SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

DEMOLITION NOTES

- NO TREES SHALL BE REMOVED, NOR VEGETATION DISTURBED BEYOND THE LIMITS OF CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- TREE PROTECTION FENCING SHALL BE IN ACCORDANCE WITH THE DETAILED DRAWINGS. DO NOT OPERATE OR STORE EQUIPMENT, NOR HANDLE OR STORE MATERIALS WITHIN THE DRIP LINES OF THE TREES SHOWN TO REMAIN.
- PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
- ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OFFSITE IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO THE APPROPRIATE UTILITY COMPANY STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
- ALL UTILITY DISCONNECTION, REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY / AGENCY. UTILITY CONTACTS ARE LISTED ON THE COVER SHEET.
- THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR OBTAINS PRIOR WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- EROSION & SEDIMENT CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE PROPERLY INSTALLED AND FUNCTION PROPERLY PRIOR TO INITIATION OF DEMOLITION ACTIVITIES.
- IF ASBESTOS OR HAZARDOUS MATERIALS ARE FOUND ON SITE, SUCH MATERIALS SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OSHA REGULATIONS DURING ALL DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND FEATURES TO REMAIN. ANY ITEMS TO REMAIN THAT HAVE BEEN DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC.. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- PROVIDE NEAT, STRAIGHT, FULL DEPTH, SAW CUTS OF EXISTING PAVEMENT WHERE INDICATED ALONG LIMITS OF PAVEMENT DEMOLITION.
- ALL UTILITY AND STRUCTURE REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED AND PROPERLY DOCUMENTED BY A CERTIFIED PROFESSIONAL, WHEN APPLICABLE, WITH THE APPROPRIATE UTILITY COMPANY, MUNICIPALITY AND/OR AGENCY. DEMOLITION OF REGULATED ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO, WELLS, ASBESTOS, UNDER GROUND STORAGE TANKS, SEPTIC TANKS AND ELECTRIC

TRANSFORMERS. DEMOLITION CONTRACTOR SHALL REFER TO ANY ENVIRONMENTAL STUDIES FOR DEMOLITION RECOMMENDATIONS AND GUIDANCE. AVAILABLE ENVIRONMENTAL STUDIES MAY INCLUDE, BUT ARE NOT LIMITED TO PHASE I ESA, PHASE II, WETLAND AND STREAM DELINEATION AND ASBESTOS SURVEY. ALL APPLICABLE ENVIRONMENTAL STUDIES SHALL BE MADE AVAILABLE UPON REQUEST.

- ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE AREA TO BE DEMOLISHED SHALL BE REMOVED TO FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE WORKED INTO THE NEW PAVEMENT OR BUILDING SUBGRADE IF THE GRADATION, CONSISTENCY, COMPACTION, SUBGRADE CONDITION, ETC., ARE IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE AREAS TO RECEIVE LANDSCAPING.
- THE CONTRACTOR SHALL USE SUITABLE METHODS TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION ACTIVITIES.
- ALL EXISTING WATER LINES TO BE ABANDONED SHALL BE CUT AT THE MAIN AND A SPOOL PIECE INSERTED.

LAYOUT NOTES

- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES, AND SHALL TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RELOCATE EXISTING UTILITIES AS INDICATED OR AS NECESSARY FOR CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. THE CONTRACTOR SHALL INSTALL ALL UTILITIES, INCLUDING IRRIGATION SLEEVING, PRIOR TO THE INSTALLATION OF PAVED SURFACES.
- THE CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN.
- ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH EQUIVALENT MATERIALS AT THE CONTRACTOR'S EXPENSE.
- SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- COORDINATES ARE FOR BUILDING COLUMNS, EXTERIOR BUILDING WALLS, CENTER OF DRIVEWAYS, CENTER OF SANITARY SEWER MANHOLES, AND CENTER OF STRUCTURES PLACED SIX INCHES INSIDE FACE OF CURB FOR DRAIN INLETS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS ON-SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- REFER TO THE ARCHITECTURAL, PLUMBING & ELECTRICAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS OF UTILITY SERVICE ENTRY LOCATIONS AND PRECISE BUILDING DIMENSIONS.
- THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CONSTRUCTION IN ACCORDANCE WITH THE DEVENS ENTERPRISE COMMISSION. NO CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES MADE TO THE SITE LAYOUT WITHOUT APPROVAL IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CHANGES INCLUDE BUT ARE NOT LIMITED TO, INCREASED IMPERVIOUS PAVEMENT, ADDITION / DELETION OF PARKING SPACES, MOVEMENT OF CURB LINES, CHANGES TO DRAINAGE STRUCTURES AND PATTERNS, CHANGES TO LANDSCAPING, ETC.

GRADING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINAL GRADES, TOP OF GROUND LEVEL, TOP OF PAVEMENT, OR GRATE ELEVATION AT THE DRAWDOWN POINT UNLESS NOTED OTHERWISE.
- REFER TO AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
- ALL FILL UNDER PAVEMENT SHALL BE COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
- CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION & SEDIMENT CONTROL PLAN PREPARED FOR THIS PROJECT.
- EARTHWORK SHALL INCLUDE CLEARING AND GRUBBING, STRIPPING AND STOCKPILING TOPSOIL, MASS GRADING, EXCAVATION, FILLING, UNDER CUT AND REPLACEMENT, IF REQUIRED, AND COMPACTION.
- CONTRACTOR TO REFILL UNDERCUT AREAS WITH SUITABLE MATERIAL AND COMPACT AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- CONTRACTOR TO PLACE TOPSOIL OVER THE SUBGRADE OF UNPAVED, DISTURBED AREAS TO A DEPTH INDICATED ON THE LANDSCAPE PLANS (6" MINIMUM).
- PAVEMENT SLOPES ACROSS ACCESSIBLE PARKING STALLS AND ADJOINING ACCESS AISLES SHALL BE MAXIMUM 2% AND SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
- ALL SLOPES IN NON-PAVED AREAS SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
- ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN, UNLESS NOTED OTHERWISE.
- COMPACTED FILLS ARE TO BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO CUTTING OF TRENCHES FOR PLACEMENT OF SAID SEWERS. ALL FILLS SHALL BE CONTROLLED, COMPACTED, AND INSPECTED BY AN APPROVED TESTING LABORATORY OR AN INSPECTOR FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- NO EXCESS SOIL MATERIALS SHALL BE REMOVED FROM THE PROPERTY IN ACCORDANCE WITH THE DEVENS ENTERPRISE COMMISSION.
- THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK BY IMPORTING OR EXPORTING AS NECESSARY TO ACHIEVE DESIGN GRADES AND SPECIFICATIONS.

STORM DRAINAGE NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH THE DEVENS ENTERPRISE COMMISSION SPECIFICATIONS & STANDARD DETAILS, LATEST REVISION.
- DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL NEW STORMWATER MANAGEMENT FACILITIES. CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE REGULATING AGENCIES CONCERNING INSTALLATION, INSPECTION AND APPROVAL OF THE STORM DRAINAGE SYSTEM CONSTRUCTION.
- ALL STORMWATER MANAGEMENT FACILITIES, INCLUDING COLLECTION AND CONVEYANCE STRUCTURES, SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES WITHIN THE PROPERTY ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER.
- THE CONTRACTOR IS TO CONSTRUCT CURBS, CATCH BASINS, DOWNSPOUTS, PIPING AND CONNECTION ETC. AS REQUIRED TO CONVEY THE ROOF AND PAVED SURFACE DRAINAGE TO THE INFILTRATION BASINS AND/OR CHAMBERS.
- STORM SEWER PIPE LABELED SHALL BE ONE OF THE FOLLOWING: PVC SDR-35, OR HIGH DENSITY POLYETHYLENE. ALL STORM SEWER PIPE IS TO BE INSTALLED PER DEVENS ENTERPRISE COMMISSION SPECIFICATIONS.
- TRENCHES SHALL BE SHAPED TO GIVE THE PIPE A CONTINUOUS AND EVEN BEARING. WHERE THE BOTTOM OF THE TRENCH HAS BEEN TAKEN OUT TO A GREATER DEPTH THAN ABOVE SPECIFIED, IT SHALL BE REFILLED WITH EARTH, PROPERLY COMPACTED AND SHAPED. THE CONTRACTOR SHALL UNDERCUT UNSUITABLE MATERIAL AND REPLACE IT WITH SUITABLE MATERIAL. BEDDING SHALL BE COMPRISED OF A 6" LAYER OF ¾"- 1½" INCH CRUSHED STONE FOR PROPER SUPPORT AND PROTECTION FROM SETTLING.

UTILITY NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH THE DEVENS ENTERPRISE COMMISSION CONSTRUCTION SPECIFICATIONS & STANDARD DETAILS, LATEST REVISION.
- ALL PROPOSED UTILITY LINES AND EXTENSIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PRIVATE UTILITY COMPANY SPECIFICATIONS. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS WITH THE APPROPRIATE AGENCY.

- THE CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON TOPOGRAPHIC SURVEYS AND RECORD DRAWINGS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. SHOULD UNCHARTED UTILITIES BE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE FOR INSTRUCTIONS. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- MAINTAIN MINIMUM 10-FOOT HORIZONTAL AND 18-INCH MINIMUM VERTICAL SEPARATION BETWEEN SANITARY SEWER, STORM SEWER AND WATER SUPPLY LINE, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO PAVEMENT CONSTRUCTION.
- ALL TRENCH SPOILS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED. SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- SANITARY SEWER SHALL BE PVC-SDR 35 PER ASTM D-3034 OR APPROVED EQUAL (CONFORMING TO THE DEVENS ENTERPRISE COMMISSION RULES AND REGULATIONS) INSTALLED AT A MINIMUM SLOPE OF ONE PERCENT (1.00%) UNLESS OTHERWISE NOTED. SANITARY SERVICE SHALL BE INSTALLED AT A MINIMUM DEPTH OF FOUR FEET (4') UNLESS OTHERWISE NOTED. A MINIMUM OF 18" CLEARANCE SHALL BE MAINTAINED AT ALL WATERLINE & STORM SEWER CROSSINGS. SANITARY SERVICE JOINTS ALL CONFORM TO ASTM D-3212.
- SANITARY SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL--AGGREGATES NOT TO BE LARGER THAN ¾" AND NOT SMALLER THAN NO. 8 SIEVE, FREE OF SILT AND FINES, ASHITO M43 SIZE #67, 7 OR 8. BEDDING TO BE MINIMUM OF 6" BELOW & 12" ABOVE THE PIPE.
- DISTANCES SHOWN FOR BOTH SANITARY AND STORM SEWER PIPES ARE MEASURED FROM CENTER OF STRUCTURE, CONTRACTOR RESPONSIBLE FOR ACTUAL FIELD CUT LENGTH. COORDINATES FOR STORM & SANITARY STRUCTURES ARE SHOWN TO THE CENTER STRUCTURE. UNLESS OTHERWISE NOTED.
- ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEMS ARE PROHIBITED.
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITY SURFACE FEATURES INCLUDING BUT NOT LIMITED TO CASTINGS, VALVE BOXES, PEDESTALS, CLEANOUTS, ETC. TO MATCH PROPOSED FINISHED GRADES, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL IMPROVEMENTS. DRAWINGS SHALL INCLUDE AT LEAST TWO DIMENSIONS TO EACH VALVE AND MANHOLE FROM KNOWN SITE FEATURES. DRAWINGS SHALL INCLUDE HORIZONTAL AND VERTICAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES ENCOUNTERED.
- ALL WATERLINE CROSSINGS SHALL MAINTAIN A VERTICAL SEPARATION OF 18" MINIMUM. SANITARY SEWER SHALL BE LOCATED 18" BELOW WATERMAIN AT ALL CROSSINGS. WATERMAIN SHALL BE LOCATED A MINIMUM OF 10" HORIZONTALLY FROM ANY SANITARY SEWER OR STORM SEWER. ALL MEASUREMENTS SHALL BE TAKEN FROM OUTSIDE OF SEWER PIPE TO THE OUTSIDE OF WATERMAIN PIPE. ONE FULL LENGTH OF WATERMAIN PIPE SHALL BE LOCATED AT ALL CROSSINGS TO ENABLE BOTH JOINTS TO BE LOCATED AS FAR FROM SEWER AS POSSIBLE.
- ALL WATER SERVICE PIPE SIZES 3" THRU 12" SHALL BE DUCTILE IRON PIPE CLASS 52 PIPE PER LOCAL JURISDICTION, FROM WATERMAIN THRU METER SETTING(S) INCLUDING THE METER BYPASS.
- ALL WATER SERVICE PIPE, 2" AND SMALLER, SHALL BE K SOFT COPPER FROM WATERMAIN THRU CURB STOP, OR APPROVED EQUAL.
- WATERLINE TRENCH WIDTH AT THE TOP OF THE PIPE SHALL BE NO WIDER THAN THE OUTSIDE DIAMETER OF THE PIPE, PLUS 1.5 FEET, UNLESS PERMISSION IS GRANTED BY THE INSPECTOR. THE TRENCH ABOVE THE TOP OF THE PIPE SHALL HAVE SUFFICIENT SLOPE SO THAT THE BANKS WILL NOT SLIDE. SHEETING/SHORING OF TRENCHES SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND AS MAY BE REQUIRED BY APPLICABLE GOVERNMENTAL LAWS AND REGULATIONS.EXCAVATION FOR MANHOLES, CATCH BASINS, HEADWALLS OR OTHER STRUCTURES SHALL BE SUFFICIENT TO LEAVE AT LEAST 12 INCHES IN THE CLEAR BETWEEN THEIR OUTER SURFACES AND THE EMBANKMENT OR TIMBER WHICH MAY BE USED TO HOLD AND PROTECT THE BANKS. ANY OVERDEPTH EXCAVATION BELOW THE FOOTINGS OF SUCH STRUCTURES SHALL BE FILLED WITH CONCRETE OR AS DIRECTED BY THE TOWN ENGINEER AND WILL BE AT THE CONTRACTOR'S EXPENSE. CARE MUST BE TAKEN NOT TO DAMAGE WATER PIPES, STORM DRAINS, SANITARY SEWERS, GAS MAINS, ELECTRIC CONDUITS, OR OTHER STRUCTURES ENCOUNTERED ON THE LINES OF THE WORK. IN CASE OF DAMAGE TO ANY STRUCTURES, THE OWNER OF THE STRUCTURES AND THE DEPARTMENT OF PUBLIC WORKS SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR SO THAT THE PROPER STEPS MAY BE TAKEN TO REPAIR, AT THE EXPENSE OF THE CONTRACTOR, ANY AND ALL DAMAGE DONE.
- FINAL STAMPED AS-BUILT PLAN, IN BOTH HARD COPY AND DIGITAL FORMAT, SHALL BE SUBMITTED TO THE DEVENS ENTERPRISE COMMISSION ENGINEERING DIVISION AND APPROVED 30 DAYS AFTER COMPLETION AND PRIOR TO ANY SIGN OFFS OR OCCUPANCY.

APPROVED BY DEVENS ENTERPRISE COMMISSION

CHAIRPERSON / DESIGNEE

DATE

TABLE OF ABBREVIATIONS

ABAN	ABANDON	HYD	HYDRANT
ACR	ACCESSIBLE CURB RAMP	I=	INVERT ELEVATION
ADA	AMERICANS WITH DISABILITIES ACT	INF	INFILTRATION
ADJ	ADJUST	INV	INVERT ELEVATION
APPROX	APPROXIMATE	LA	LANDSCAPE AREA
ARCH	ARCHITECTURAL	LOO	LIMIT OF DISTURBANCE
BC	BOTTOM OF CURB	LOW	LIMIT OF WORK
BCB	BITUMINOUS CONCRETE BERM	LP	LOW POINT
BCC	BITUMINOUS CONCRETE CURB	MAX	MAXIMUM
BIT	BITUMINOUS	MCC	MONOLITHIC CONCRETE CURB
BLDG	BUILDING	ME	MATCH EXISTING
BLSF	BORDERING LAND SUBJECT TO FLOODING	MES	METAL END SECTION
BOT	BOTTOM	MIN	MINIMUM
BS	BOTTOM OF SLOPE	MW	MONITORING WELL
BW	BOTTOM OF WALL	NDZ	NO DISTURB ZONE
BWLL	BROKEN WHITE LANE LINE	NIC	NOT IN CONTRACT
CATV	CABLE TV	NTS	NOT TO SCALE
CCB	CAPE COD BERM	OHW	OVERHEAD WIRE
CIP	CAST IRON PIPE	PB	PULL BOX
CLF	CHAIN LINK FENCE	PCC	PRECAST CONCRETE CURB
CMP	CORRUGATED METAL PIPE	PIV	POST INDICATOR VALVE
CO	CLEANOUT	PL	PROPERTY LINE
CONC	CONCRETE	PROP	PROPOSED
COND	CONDUIT	PVC	POLYVINYLCHLORIDE PIPE
CS	CURB STOP AND BOX	R	RADIUS
DCB	DOUBLE CATCH BASIN	R&D	REMOVE AND DISPOSE
DET	DETENTION	R&R	REMOVE AND RESET
DIA	DIAMETER	R&S	REMOVE AND SALVAGE
DIP	DUCTILE IRON PIPE	R=	RIM ELEVATION
DMH	DRAIN MANHOLE	RA	RIVERFRONT AREA
DPW	DEPARTMENT OF PUBLIC WORKS	RCP	REINFORCED CONCRETE PIPE
DW	DOMESTIC WATER	RD	ROOF DRAIN
DYCL	DOUBLE YELLOW CENTER LINE	REM	REMOVE
ECC	EXTRUDED CONCRETE CURB	RET	RETAIN
ELEV	ELEVATION	ROW	RIGHT-OF-WAY
EMH	ELECTRIC MANHOLE	SAS	SOIL ABSORPTION SYSTEM
EOP	EDGE OF PAVEMENT	SCB	SINGLE CATCH BASIN
EX	EXISTING	SGE	SLOPED GRANITE EDGING
EXIST	EXISTING	SLP	SITE LIGHT POLE
F&C	FRAME AND COVER	SMH	SEWER MANHOLE
F&G	FRAME AND GRATE	SWEL	SOLID WHITE EDGE LINE
FA	FIRE ALARM	SWLL	SOLID WHITE LANE LINE
FDN	FOUNDATION	SYS	SYSTEM
FES	FLARED END SECTION	TC	TOP OF CURB
FFE	FIRST FLOOR ELEVATION	TMH	TELEPHONE MANHOLE
FM	FORCE MAIN	TR	TRASH BAY
FO	FIBER OPTICS	TS	TOP OF SLOPE
FP	FIRE PROTECTION	TSV	TAPPING SLEEVE, VALVE, AND BOX
GG	GAS GATE	TW	TOP OF WALL
GI	GUTTER INLET	TYP	TYPICAL
GM	GAS METER	UD	UNDERDRAIN
GRAN	GRANITE	UG	UNDERGROUND
GT	GREASE TRAP	UP	UTILITY POLE
GD	GRADE TO DRAIN	VGC	VERTICAL GRANITE CURB
HDPE	HIGH DENSITY POLYETHYLENE PIPE	WM	WATER METER
HH	HAND HOLE	WQI	WATER QUALITY INLET
HP	HIGH POINT	WQU	WATER QUALITY UNIT
HW	HEADWALL	WV	WATER VALVE AND BOX

PERMIT SET
NOT FOR CONSTRUCTION



DRAWING NO.:

C001

SHEET 2 OF 15

2 Corporation Way

Suite 160
Peabody, MA 01960

Ph: 774.501.2176

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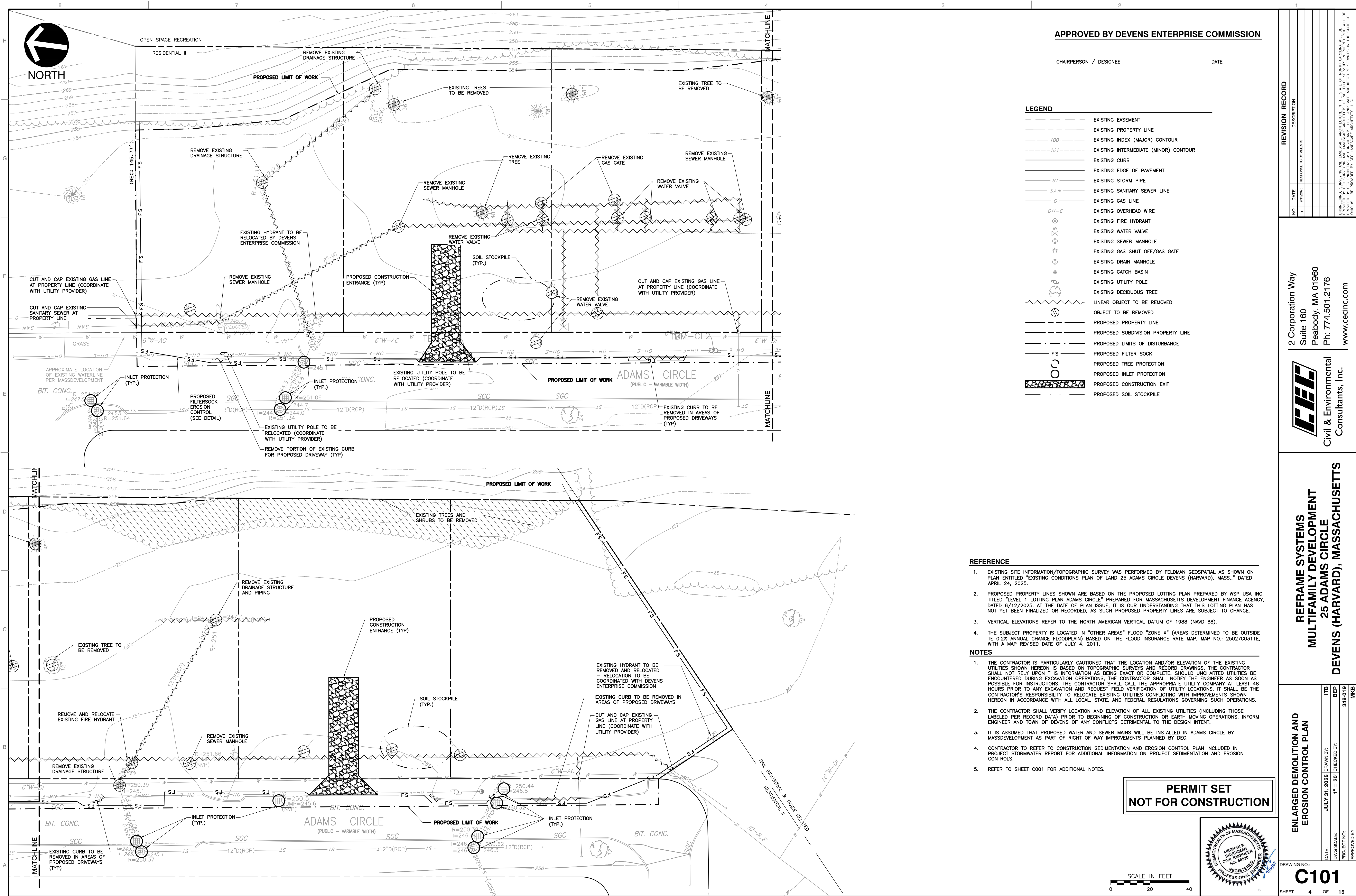
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REFRAME SYSTEMS
MULTIFAMILY DEVELOPMENT
25 ADAMS CIRCLE
DEVENS (HARVARD), MASSACHUSETTS

GENERAL NOTES

DATE: JULY 31, 2025
DWG SCALE: AS SHOWN
PROJECT NO: 348-019
APPROVED BY: MKB
ITB
BEP
348-019
MKB

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APPROVED BY DEVENS ENTERPRISE COMMISSION

CHAIRPERSON / DESIGNEE DATE

LEGEND

- EXISTING EASEMENT
- EXISTING PROPERTY LINE
- EXISTING INDEX (MAJOR) CONTOUR
- EXISTING INTERMEDIATE (MINOR) CONTOUR
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING STORM PIPE
- EXISTING SANITARY SEWER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING SEWER MANHOLE
- EXISTING GAS SHUT OFF/GAS GATE
- EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- EXISTING UTILITY POLE
- EXISTING DECIDUOUS TREE
- LINEAR OBJECT TO BE REMOVED
- OBJECT TO BE REMOVED
- PROPOSED PROPERTY LINE
- PROPOSED SUBDIVISION PROPERTY LINE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED FILTER SOCK
- PROPOSED TREE PROTECTION
- PROPOSED INLET PROTECTION
- PROPOSED CONSTRUCTION EXIT
- PROPOSED SOIL STOCKPILE

REFERENCE

- EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PERFORMED BY FELDMAN GEOSPATIAL AS SHOWN ON PLAN ENTITLED "EXISTING CONDITIONS PLAN OF LAND 25 ADAMS CIRCLE DEVENS (HARVARD), MASS.," DATED APRIL 24, 2025.
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NOTES

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- CONTRACTOR TO REFER TO CONSTRUCTION SEDIMENTATION AND EROSION CONTROL PLAN INCLUDED IN PROJECT STORMWATER REPORT FOR ADDITIONAL INFORMATION ON PROJECT SEDIMENTATION AND EROSION CONTROLS.
- REFER TO SHEET C001 FOR ADDITIONAL NOTES.

PERMIT SET
NOT FOR CONSTRUCTION

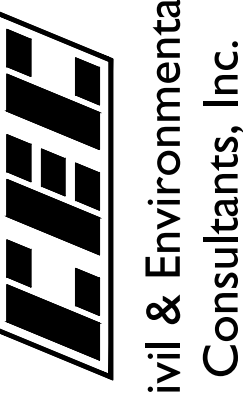


SCALE IN FEET
0 20 40

REVISION RECORD

NO.	DATE	RESPONSE TO COMMENTS
1	8/15/2025	

2 Corporation Way
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REFRAME SYSTEMS
MULTIFAMILY DEVELOPMENT
25 ADAMS CIRCLE
DEVENS (HARVARD), MASSACHUSETTS

ENLARGED DEMOLITION AND
EROSION CONTROL PLAN

DRAWING NO.:
C101
SHEET 4 OF 15



APPROVED BY DEVENS ENTERPRISE COMMISSION

CHAIRPERSON / DESIGNEE

DATE

REVISION RECORD

NO. DATE DESCRIPTION

1 8/15/2025 RESPONSE TO COMMENTS

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Peabody, MA 01960
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REFRAME SYSTEMS
MULTIFAMILY DEVELOPMENT
25 ADAMS CIRCLE
DEVENS (HARVARD), MASSACHUSETTS

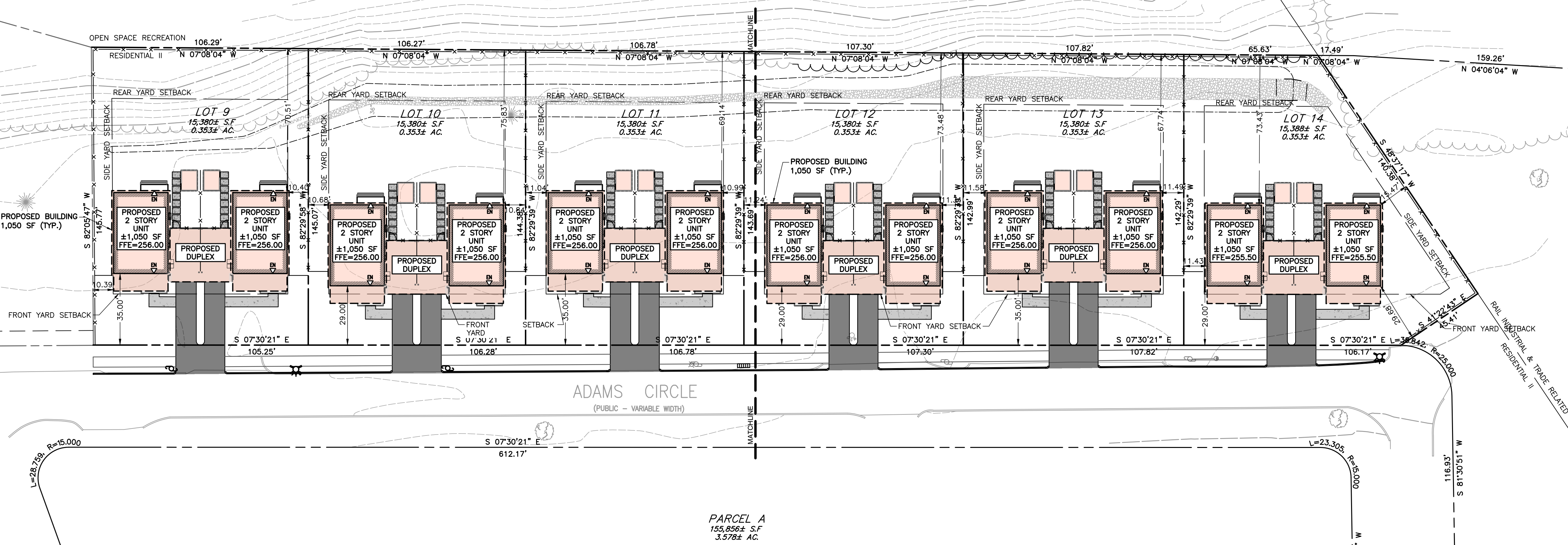
OVERALL SITE LAYOUT PLAN

DATE: JULY 31, 2025
DRAWN BY: ITB
BEP
PROJECT NO: 348-019
APPROVED BY: MKB

DRAWING NO.:

C200

SHEET 5 OF 15



LEGEND

- EXISTING EASEMENT
- EXISTING PROPERTY LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- PROPOSED CONCRETE
- PROPOSED PERVIOUS PAVEMENT
- PROPOSED GRAVEL
- PROPOSED SUBDIVISION PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED BUILDING OVERHANG
- PROPOSED FENCE
- PROPOSED LIMIT OF POND
- PROPOSED TREELINE
- PROPOSED ENTRANCE
- PROPOSED CURB

SITE DEVELOPMENT ZONING DATA

TOTAL AREA OF PARCELS: ±2.1 ACRES
ZONING DISTRICT: RESIDENTIAL II

RESIDENTIAL: PROPOSED NO. OF PARCELS 6 PARCELS
PROPOSED NO. OF UNITS 12 UNITS

REGULATION	REQUIREMENT	EXISTING	PROPOSED LOT 9	PROPOSED LOT 10	PROPOSED LOT 11	PROPOSED LOT 12	PROPOSED LOT 13	PROPOSED LOT 14
MIN. LOT AREA	15,000 S.F.	508976 S.F.	15,380 S.F.	15,380 S.F.	15,380 S.F.	15,380 S.F.	15,380 S.F.	15,388 S.F.
LOT FRONTAGE	100 FT.	640 FT. MIN.	105.25 FT.	106.28 FT.	106.78 FT.	107.30 FT.	107.82 FT.	106.17 FT.
FRONT SETBACK	25 FT.	--	35 FT.	29 FT.	35 FT.	29 FT.	35 FT.	29 FT.
SIDE SETBACK	10 FT.	--	10.39 FT.	10.68 FT.	10.99 FT.	11.24 FT.	11.49 FT.	11.04 FT.
REAR SETBACK	25 FT.	--	62.55 FT.	67.87 FT.	61.18 FT.	66.48 FT.	59.79 FT.	65.47 FT.
MAX. BLDG. HEIGHT	40 FT.	--	35 FT.	35 FT.	35 FT.	35 FT.	35 FT.	35 FT.
PARKING SPACES	2 SPACES MAX PER HOUSE	--	2	2	2	2	2	2

REFERENCE

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NOTES

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- REFER TO SHEET C001 FOR ADDITIONAL NOTES.

PERMIT SET
NOT FOR CONSTRUCTION



SCALE IN FEET
0 30 60

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APPROVED BY DEVENS ENTERPRISE COMMISSION

CHAIRPERSON / DESIGNEE

DATE

REVISION RECORD		
NO	DATE	DESCRIPTION
1	9/16/2025	RESPONSE TO COMMENTS

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Peabody, MA 01960
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REFRAME SYSTEMS
MULTIFAMILY DEVELOPMENT
25 ADAMS CIRCLE
DEVENS (HARVARD), MASSACHUSETTS

OVERALL GRADING & DRAINAGE PLAN

DATE	BY	DATE	BY
JULY 31, 2025	MEGHAN K. BRUCKMAN	JULY 31, 2025	MEGHAN K. BRUCKMAN
PROJECT NO:	348-019	PROJECT NO:	348-019
APPROVED BY:	MEGHAN K. BRUCKMAN	APPROVED BY:	MEGHAN K. BRUCKMAN

DRAWING NO:
C300
SHEET 7 OF 15

LEGEND

---	EXISTING EASEMENT	⊗	EXISTING CATCH BASIN
---	EXISTING PROPERTY LINE	⊗	EXISTING UTILITY POLE
---	EXISTING INDEX (MAJOR) CONTOUR	⊗	EXISTING DECIDUOUS TREE
---	EXISTING INTERMEDIATE (MINOR) CONTOUR	⊗	PROPOSED CONCRETE
---	EXISTING CURB	⊗	PROPOSED PERVIOUS PAVEMENT
---	EXISTING EDGE OF PAVEMENT	⊗	PROPOSED GRAVEL
---	EXISTING STORM PIPE	⊗	PROPOSED LIMITS OF DISTURBANCE
---	EXISTING SANITARY SEWER LINE	⊗	PROPOSED INDEX (MAJOR) CONTOUR
---	EXISTING GAS LINE	⊗	PROPOSED INTERMEDIATE (MINOR) CONTOUR
---	EXISTING OVERHEAD WIRE	⊗	PROPOSED SLOPE LABEL
---	EXISTING FIRE HYDRANT	⊗	PROPOSED SPOT ELEVATION
---	EXISTING WATER VALVE	⊗	TOP OF WALL ELEVATION
---	EXISTING SEWER MANHOLE	⊗	BOTTOM OF WALL ELEVATION
---	EXISTING GAS SHUT OFF/GAS GATE	⊗	TOP OF CURB ELEVATION
---	EXISTING DRAIN MANHOLE	⊗	BOTTOM OF CURB ELEVATION
---		⊗	PROPOSED ROOF DRAIN
---		⊗	PROPOSED WATER HYDRANT
---		⊗	PROPOSED UTILITY POLE
---		⊗	PROPOSED ROOF DRAIN

REFERENCE

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NOTES

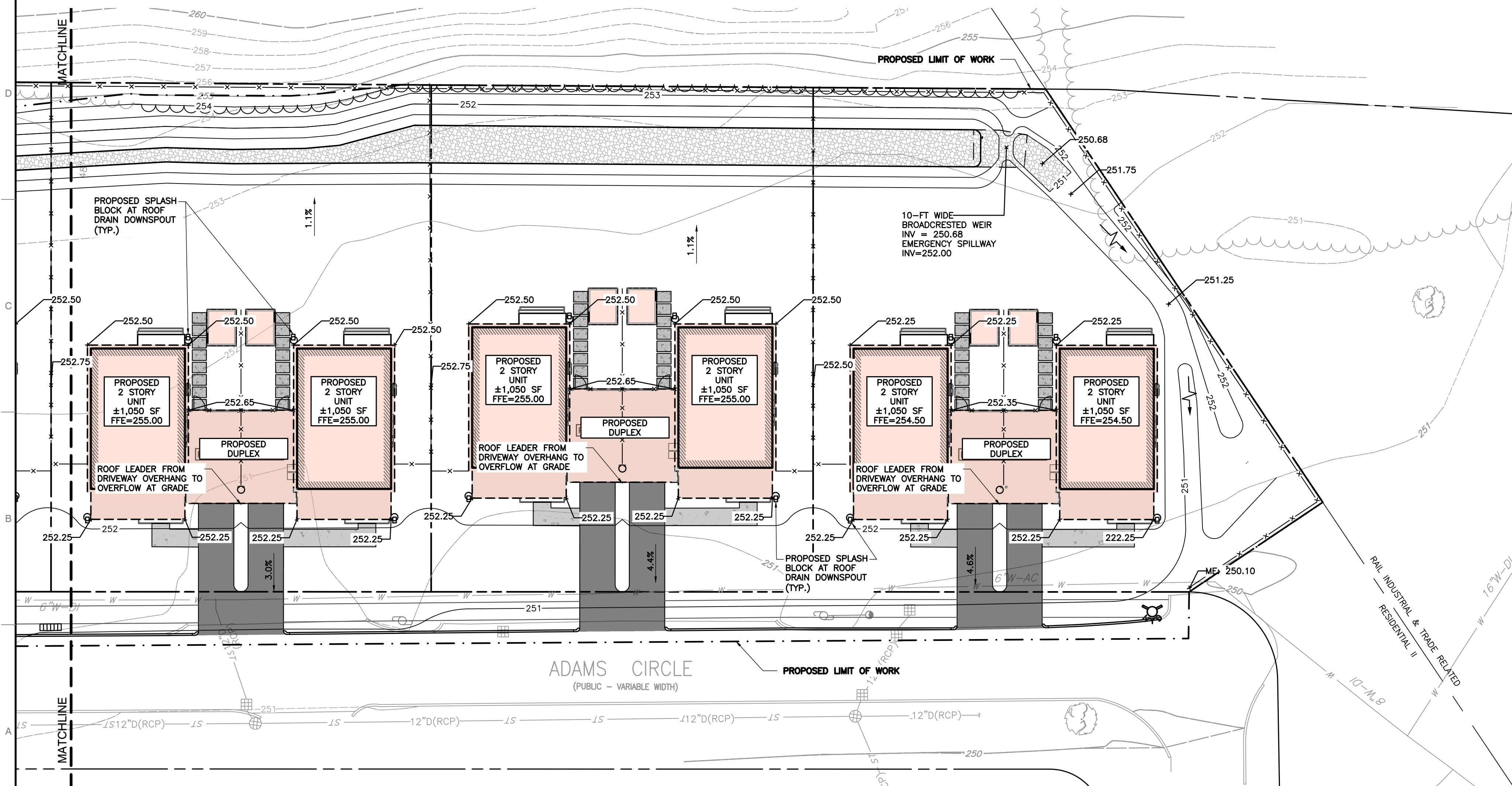
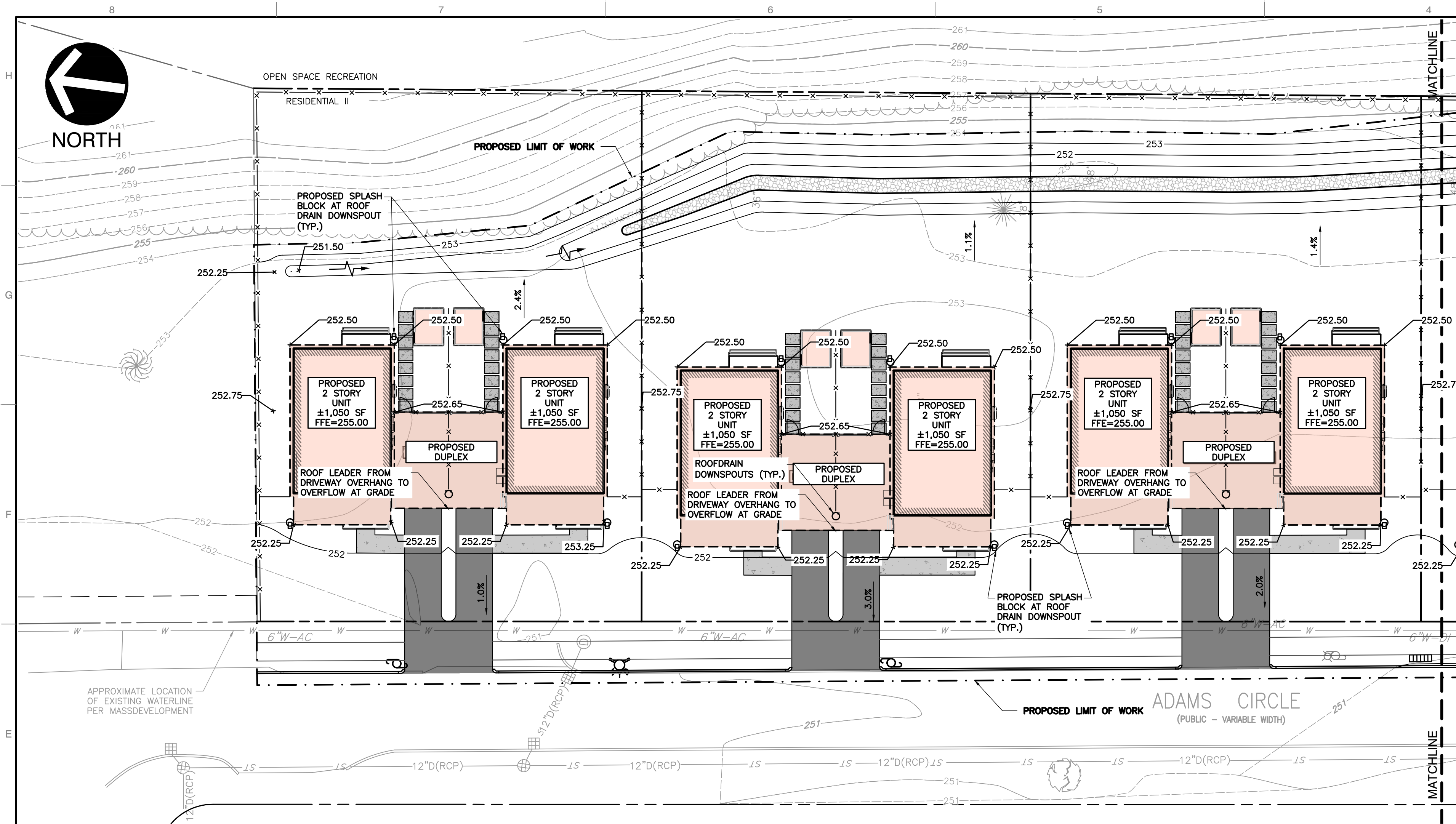
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PERMIT SET
NOT FOR CONSTRUCTION



SCALE IN FEET
0 30 60

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APPROVED BY DEVENS ENTERPRISE COMMISSION

CHAIRPERSON / DESIGNEE

DATE

LEGEND

- EXISTING EASEMENT
- EXISTING PROPERTY LINE
- EXISTING INDEX (MAJOR) CONTOUR
- EXISTING INTERMEDIATE (MINOR) CONTOUR
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING STORM PIPE
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- EXISTING GAS LINE
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- EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- EXISTING UTILITY POLE
- EXISTING DECIDUOUS TREE
- PROPOSED CONCRETE
- PROPOSED PERVIOUS PAVEMENT
- PROPOSED GRAVEL
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED INDEX (MAJOR) CONTOUR
- PROPOSED INTERMEDIATE (MINOR) CONTOUR
- PROPOSED SLOPE LABEL
- PROPOSED SPOT ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- TOP OF CURB ELEVATION
- BOTTOM OF CURB ELEVATION
- PROPOSED ROOF DRAIN

REFERENCE

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PERMIT SET
NOT FOR CONSTRUCTION



SCALE IN FEET
0 20 40

REVISION RECORD	
NO	DESCRIPTION
1	RESPONSE TO COMMENTS

2 Corporation Way
Suite 160
Peabody, MA 01960
Ph: 774.501.2176
www.cecinc.com



REFRAME SYSTEMS
MULTIFAMILY DEVELOPMENT
25 ADAMS CIRCLE
DEVENS (HARVARD), MASSACHUSETTS

ENLARGED GRADING & DRAINAGE
PLAN

DRAWING NO.:
C301
SHEET 8 OF 15

DATE: JULY 31, 2025
DRAIN BY: ITB
BEP
PROJECT NO.: 348-019
APPROVED BY: MKB



APPROVED BY DEVENS ENTERPRISE COMMISSION

CHAIRPERSON / DESIGNEE

DATE

REVISION RECORD

NO. DATE DESCRIPTION

1 8/15/2025 RESPONSE TO COMMENTS

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REFRAME SYSTEMS
MULTIFAMILY DEVELOPMENT
25 ADAMS CIRCLE
DEVENS (HARVARD), MASSACHUSETTS

OVERALL UTILITY PLAN

DATE: JULY 31, 2025
DRAWN BY: ITB
BEP
PROJECT NO: 348-019
APPROVED BY: MKB

DRAWING NO: C500
SHEET 9 OF 15

LEGEND

--- EXISTING EASEMENT
--- EXISTING PROPERTY LINE
--- 100' EXISTING INDEX (MAJOR) CONTOUR
--- 101' EXISTING INTERMEDIATE (MINOR) CONTOUR
--- EXISTING CURB
--- EXISTING EDGE OF PAVEMENT
--- ST EXISTING STORM PIPE
--- SAN EXISTING SANITARY SEWER LINE
--- G EXISTING GAS LINE
--- OH-E EXISTING OVERHEAD WIRE
--- EXISTING FIRE HYDRANT
--- EXISTING WATER VALVE
--- EXISTING SEWER MANHOLE
--- EXISTING GAS SHUT OFF/GAS GATE
--- EXISTING DRAIN MANHOLE

--- EXISTING CATCH BASIN
--- EXISTING UTILITY POLE
--- EXISTING DECIDUOUS TREE
--- PROPOSED CONCRETE
--- PROPOSED PERVIOUS PAVEMENT
--- PROPOSED GRAVEL
--- PROPOSED LIMIT OF POND
--- PROPOSED ROOF DRAIN

--- SAN PROPOSED SANITARY SEWER
--- CS PROPOSED COMBINED SEWER
--- S PROPOSED SANITARY MANHOLE
--- S PROPOSED SANITARY CLEANOUT
--- P PROPOSED UTILITY POLE
--- W PROPOSED WATER LINE
--- W PROPOSED WATER HYDRANT
--- V PROPOSED WATER VALVE
--- E PROPOSED UNDERGROUND ELECTRIC

REFERENCE

- EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PERFORMED BY FELDMAN GEOSPATIAL AS SHOWN ON PLAN ENTITLED "EXISTING CONDITIONS PLAN OF LAND 25 ADAMS CIRCLE DEVENS (HARVARD), MASS.," DATED APRIL 24, 2025.
- PROPOSED PROPERTY LINES SHOWN ARE BASED ON THE PROPOSED LOTTING PLAN PREPARED BY WSP USA INC. TITLED "LEVEL 1 LOTTING PLAN ADAMS CIRCLE" PREPARED FOR MASSACHUSETTS DEVELOPMENT FINANCE AGENCY, DATED 6/12/2025. AT THE DATE OF PLAN ISSUE, IT IS OUR UNDERSTANDING THAT THIS LOTTING PLAN HAS NOT YET BEEN FINALIZED OR RECORDED, AS SUCH PROPOSED PROPERTY LINES ARE SUBJECT TO CHANGE.
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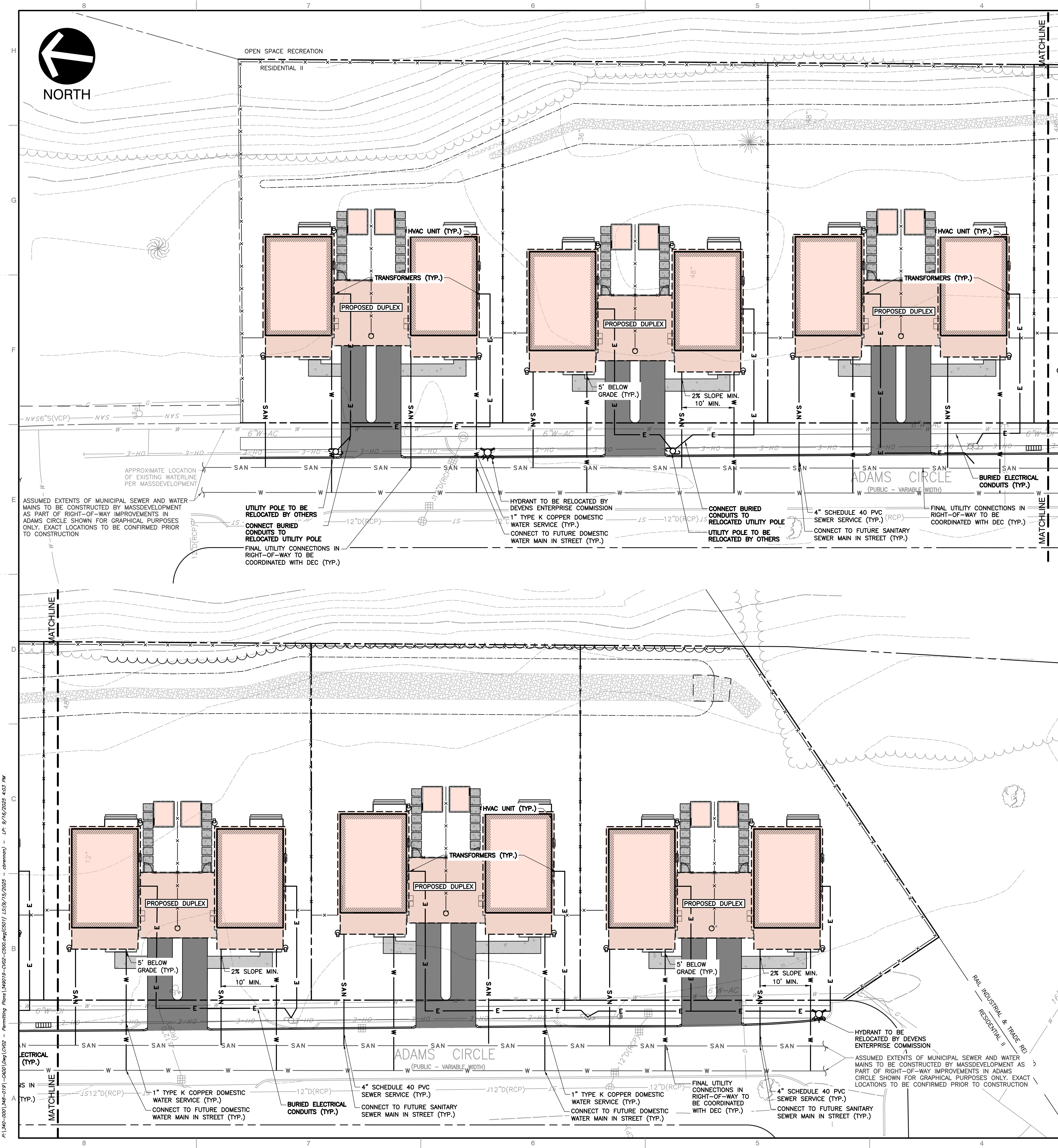
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PERMIT SET
NOT FOR CONSTRUCTION

SCALE IN FEET
0 30 60





APPROVED BY DEVENS ENTERPRISE COMMISSION

CHAIRPERSON / DESIGNEE

DATE

LEGEND

- EXISTING EASEMENT
- EXISTING PROPERTY LINE
- EXISTING INDEX (MAJOR) CONTOUR
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- PROPOSED WATER LINE
- PROPOSED WATER HYDRANT
- PROPOSED WATER VALVE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED GAS LINE
- PROPOSED COMMUNICATION LINES

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SCALE IN FEET
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ENLARGED UTILITY PLAN

REFRAME SYSTEMS
MULTIFAMILY DEVELOPMENT
25 ADAMS CIRCLE
DEVENS (HARVARD), MASSACHUSETTS

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Civil & Environmental
Consultants, Inc.

REVISION RECORD

NO.	DATE	RESPONSE TO COMMENTS
1	8/15/2025	

DATE:	JULY 31, 2025	DRAWN BY:	ITB
DWG SCALE:	1" = 20'	CHECKED BY:	BEP
PROJECT NO.:	348-019	APPROVED BY:	MKB

SHEET 10 OF 15

C501



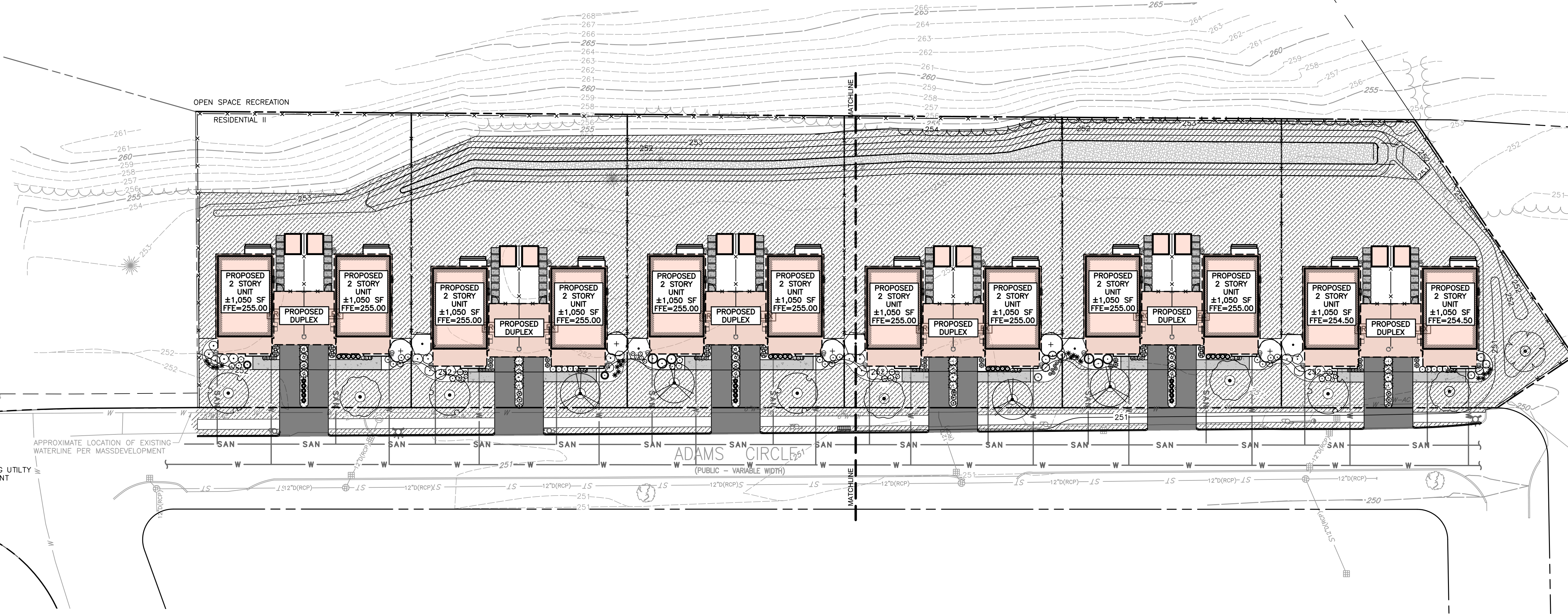
APPROVED BY DEVENS ENTERPRISE COMMISSION

CHAIRPERSON / DESIGNEE

DATE

GENERAL LANDSCAPE NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- CONTRACTOR SHALL REQUEST UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF WORK. VERIFY ALL EXISTING UTILITIES AND CONDITIONS PRIOR TO ANY EXCAVATION AT LEAST 72 HOURS PRIOR TO LANDSCAPE INSTALLATION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- NO CHANGES TO THE SITE LANDSCAPE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS. PLANT MATERIAL DELIVERED TO SITE SHALL BE STORED IN SECURE LOCATION NOT IN CONFLICT WITH OTHER CONSTRUCTION OPERATIONS AND MAINTAINED UNTIL TIME OF INSTALLATION.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN ASSOCIATION OF NURSERY STOCK AND Z60.1-2004", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED.
- ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN IS PLANTED AT GRADE LEVEL.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDLING OF TREE OR SHRUB.
- WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- CONTRACTOR TO REMOVE ALL LANDSCAPE DEBRIS FROM PLANTING OPERATIONS FROM THE PROJECT SITE. NO OPEN BURNING SHALL BE PERMITTED ON SITE.
- THE DAY PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED AND PLANTING BEDLINE OUTLINES DEFINED FOR APPROVAL BY OWNER(S).
- THE LANDSCAPE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE (1) CALENDAR YEAR FROM THE TIME OF SUBSTANTIAL COMPLETION OF PROJECT. AT THE END OF THIS PERIOD, ANY PLANT MATERIAL DEEMED UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL COST TO OWNER.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT SCHEDULE, THE PLANS SHALL TAKE PRECEDENCE.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- STAKES AND OR GUY WIRES SHALL BE REMOVED AFTER ONE (1) YEAR OF INSTALLATION.
- ALL EXISTING LANDSCAPING SHALL BE MAINTAINED DURING CONSTRUCTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT, WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO OWNER.
- IF PLANT SPECIES SPECIFIED ARE FOUND TO BE UNAVAILABLE OR NOT IN SUFFICIENT QUANTITIES AT TIME OF PLANTING, THE CONTRACTOR MAY SUBSTITUTE SPECIES UPON WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
- LANDSCAPING SHALL BE SUBSTANTIALLY INSTALLED PRIOR TO THE ISSUANCE OF OCCUPANCY PERMIT FOR THE PRINCIPAL STRUCTURE ON LOT, WEATHER PERMITTING, OR, IN THE EVENT OF ADVERSE WEATHER CONDITIONS, WITHIN NINETY (90) DAYS FOLLOWING THE COMMENCEMENT OF THE NEXT SUCCESSIVE PLANTING SEASON FOLLOWING ISSUANCE OF OCCUPANCY PERMIT.
- ALL LANDSCAPE PLANTINGS TO BE MAINTAINED BY CONTRACTOR FOR 60 DAYS FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. MAINTENANCE TO INCLUDE WATERING, WEED REMOVAL, MULCHING, MOWING AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF PLANTINGS AND TURF AREAS.



REFERENCE

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SCALE IN FEET
0 30 60



OVERALL LANDSCAPING PLAN

REFRAME SYSTEMS
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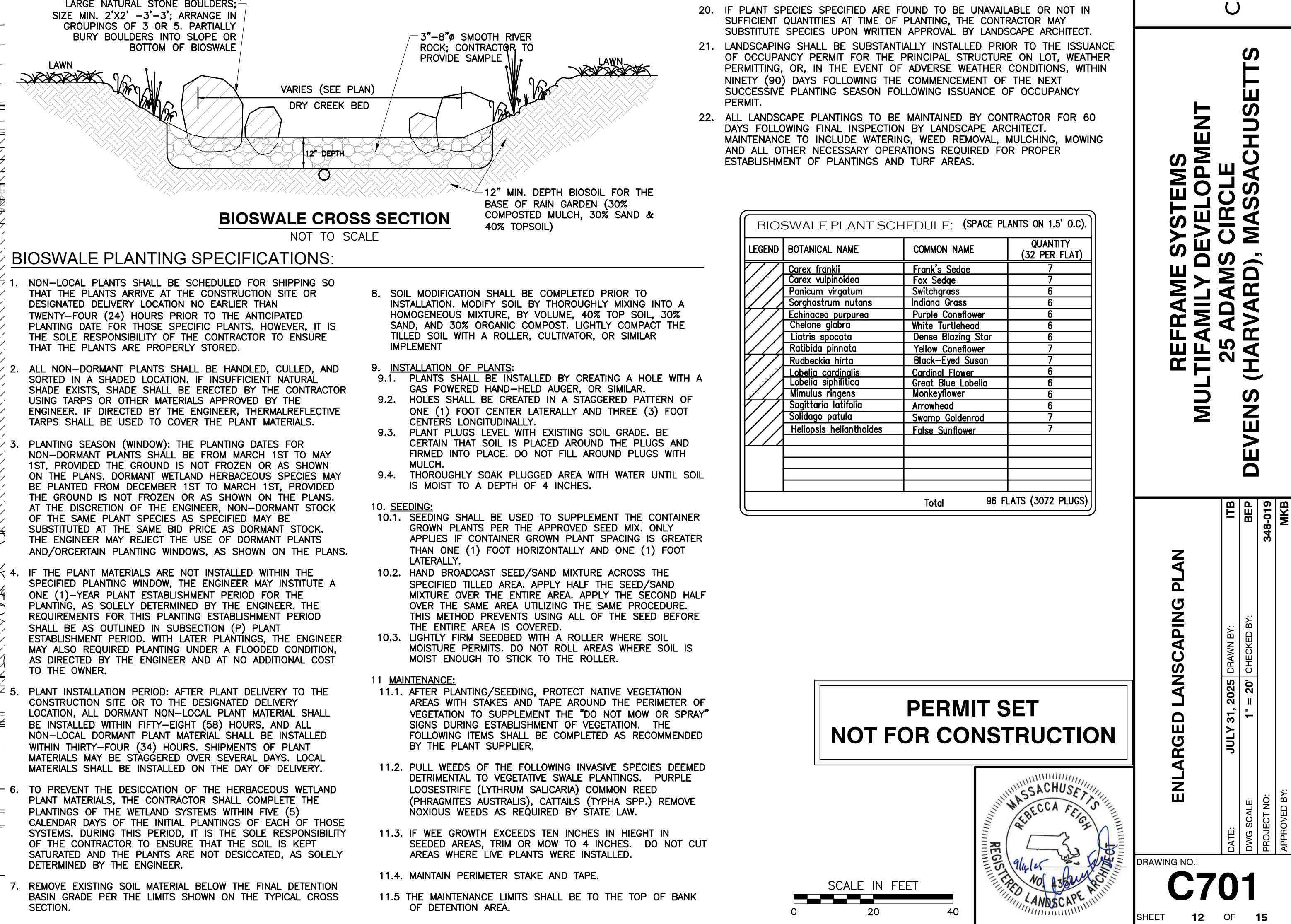
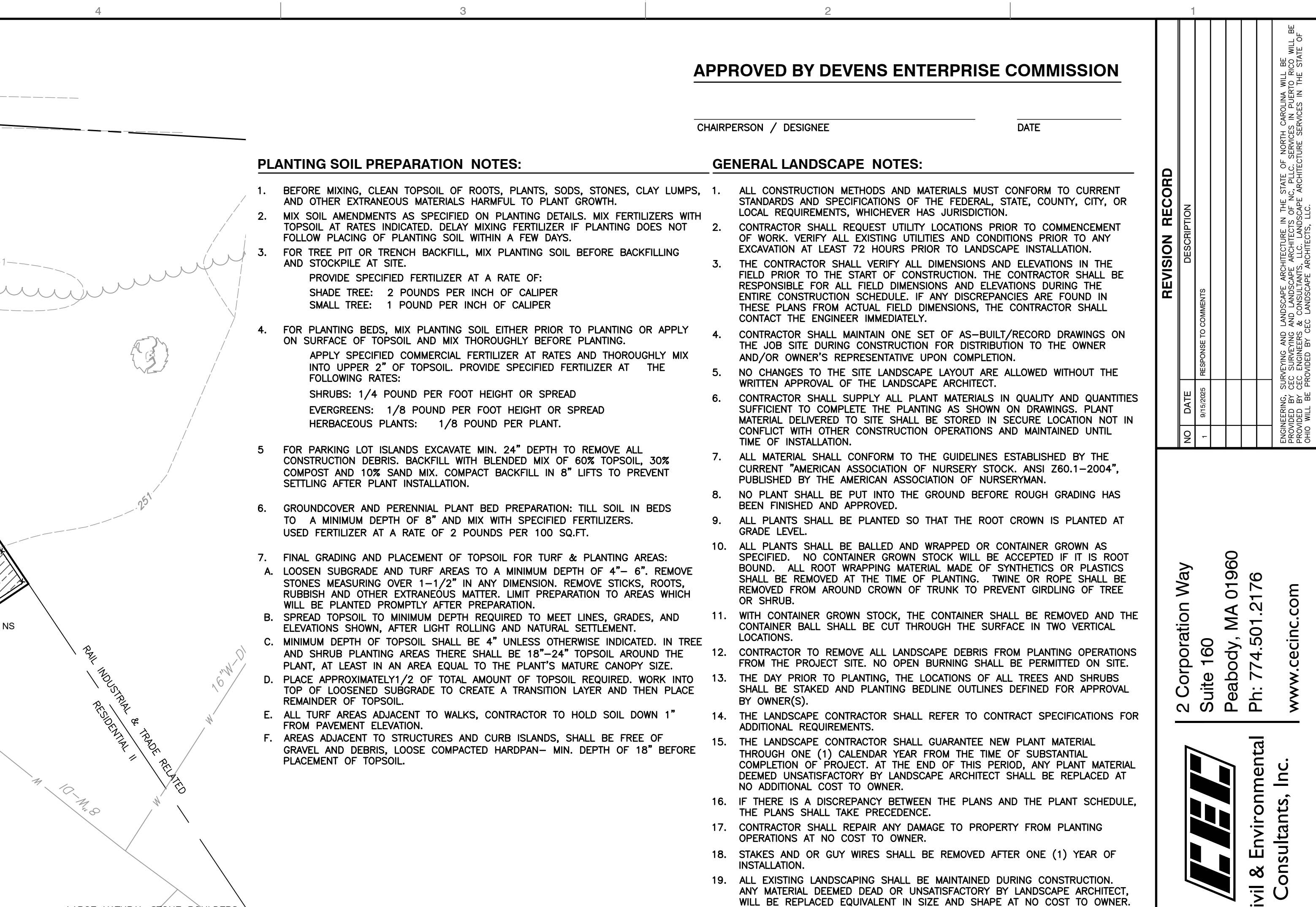
REVISION RECORD

NO.	DATE	RESPONSE TO COMMENTS	DESCRIPTION
1	8/15/2025		

DRAWING NO.

C700

SHEET 11 OF 15



GENERAL SEEDING NOTES:

1. STORE SEED IN A DRY SECURE LOCATION UNTIL SEEDBED PREPARATION IS COMPLETE.
2. SEED MIX AREAS: SEED WITHIN 72 HOURS OF TOPSOIL PLACEMENT BY APPROVED METHODS. IF INSTALLATION IS DELAYED TEMPORARY EROSION MEASURES SUCH AS ANCHOR MULCH OR EROSION CONTROL BLANKETS SHALL BE INSTALLED AND MAINTAINED UNTIL SEEDBED PREPARATION AND SEEDING CAN COMMENCE.
3. CONTRACTOR TO COVER AREA IMMEDIATELY FOLLOWING SEEDING WITH CERTIFIED WEED-FREE CLEAN DRY MULCH AT A RATE OF 2 TONS/ PER ACRE. MULCH CAN BE APPLIED BY HAND OR WITH MULCH BLOWER OR CRIMPER.

LOW MAINTENANCE TURF TYPE SEED MIX:

TALL FESCUE MIX: (TURF TYPE FESCUE)
SEEDING RATE: 200 POUNDS/ PER ACRE
MIX COMPOSITION: (OR APPROVED EQUAL)
40 LB/AC 20.0% FESTUCA BREVIPILA (HARD FESCUE- NANOOK OR EQUAL)
30 LB/AC 15.0% FESTUCA OVINA (SHEEP FESCUE)
70 LB/AC 35.0% FESTUCA RUBRA COMMUTATA (CHEWINGS FESCUE, LS3000 OR EQUAL)
60 LB/AC 30.0% FESTUCA RUBRA ARENARIA (CREEPING RED FESCUE)
200 LB/AC 100%

LAWN SEED, MAX. COVER 1/8", APPLY DIRECTLY TO PREPARED TOP SOIL. SEED MIX AND RATE OF APPLICATION AS PER PLANTING SCHEDULE AND OR SPECIFICATIONS.

FINISH GRADE-FREE OF RUTS, DEPRESSIONS, IRREGULARITIES.

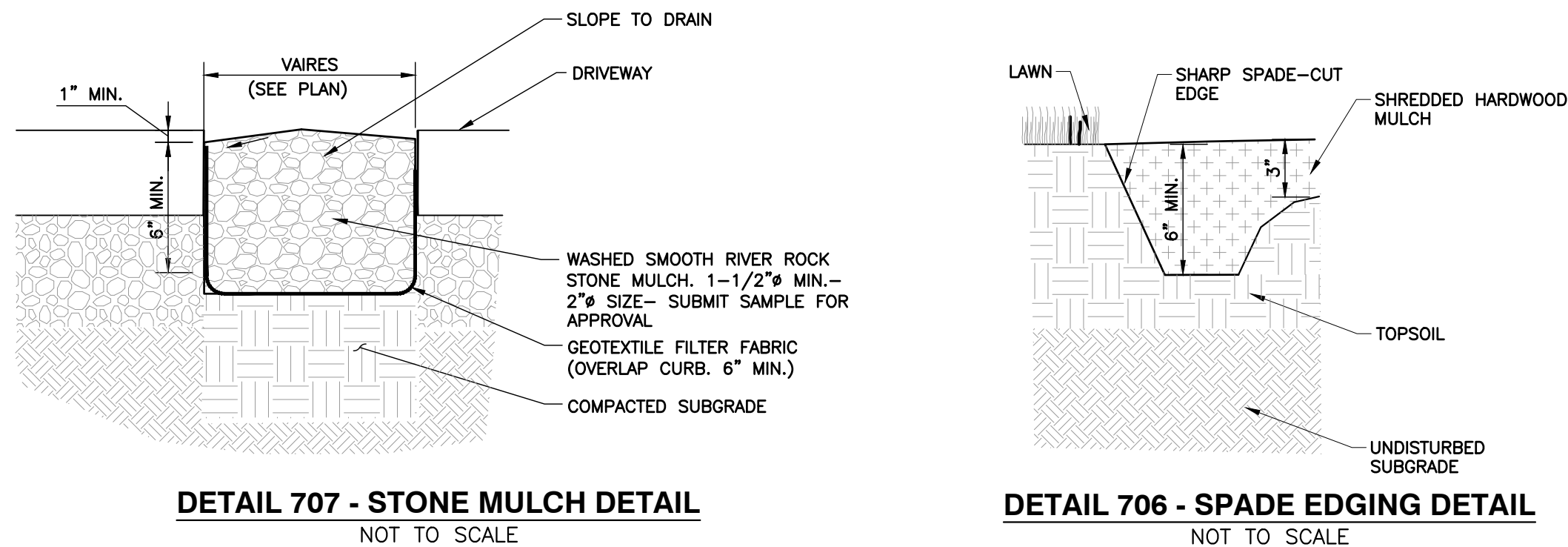
MIN. 4-6" TOPSOIL (SEE NOTES BELOW)

NOTES:

1. MINIMUM TOPSOIL DEPTH IS 4-6 INCHES.
2. TOPSOIL SHOULD HAVE A GOOD HUMUS CONTENT. THIS CAN BE 20 TONS OF COMPOSTED MANURE PER ACRE OR 170 BALES OF PEAT PER ACRE.
3. TOPSOIL WITH A PH OF 6 OR LESS WILL NEED A LIME AMENDMENT. EVENLY APPLY HYDRATED LIME OR GROUND LIMESTONE TO TOP SOIL UNTIL PH IS ADJUSTED TO BETWEEN 6-7. PH BELOW 5.5 OR ABOVE 7.5 IS UNACCEPTABLE FOR LAWNS.
4. 650 LBS OF SLOW RELEASE WELL BALANCED FERTILIZER 10-10-10 PER ACRE SHOULD BE HARROWED INTO THE TOPSOIL PRIOR TO SEEDING.
5. SEEDING IS BEST IN THE LATE SUMMER-EARLY AUTUMN. A HARROW MAY BE USED TO OBTAIN AN EVEN SURFACE THAT IS FIRM. THE SEED MAY BE MECHANICALLY SPREAD INTO THE SURFACE AS PER THE PLANTING SCHEDULE AND OR SPECIFICATIONS.

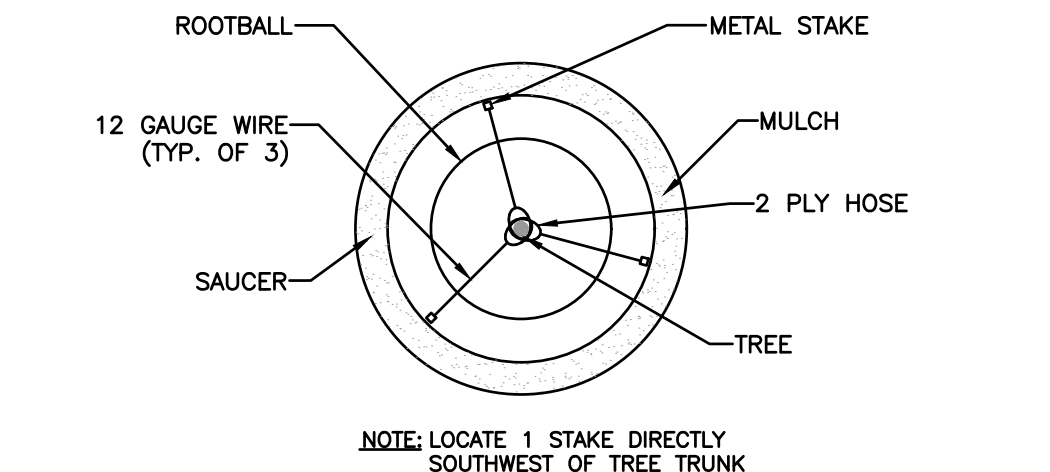
DETAIL 708- LAWN PLANTING DETAIL

NOT TO SCALE



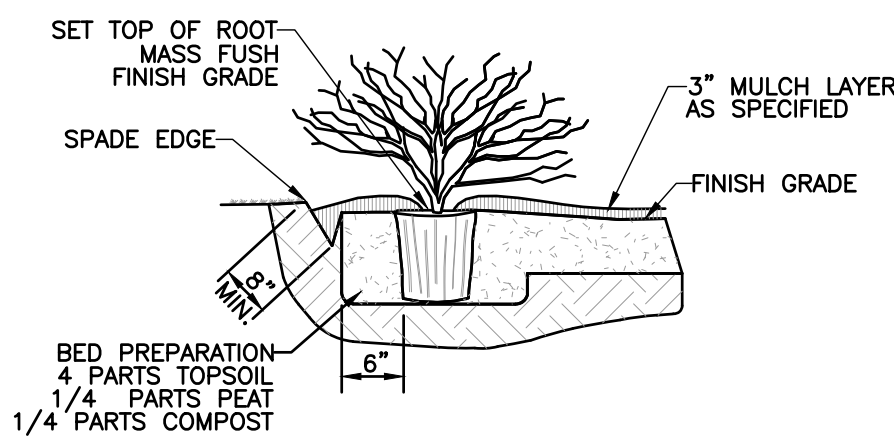
DETAIL 704 - ORNAMENTAL GRASS/ PERENNIAL AND GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



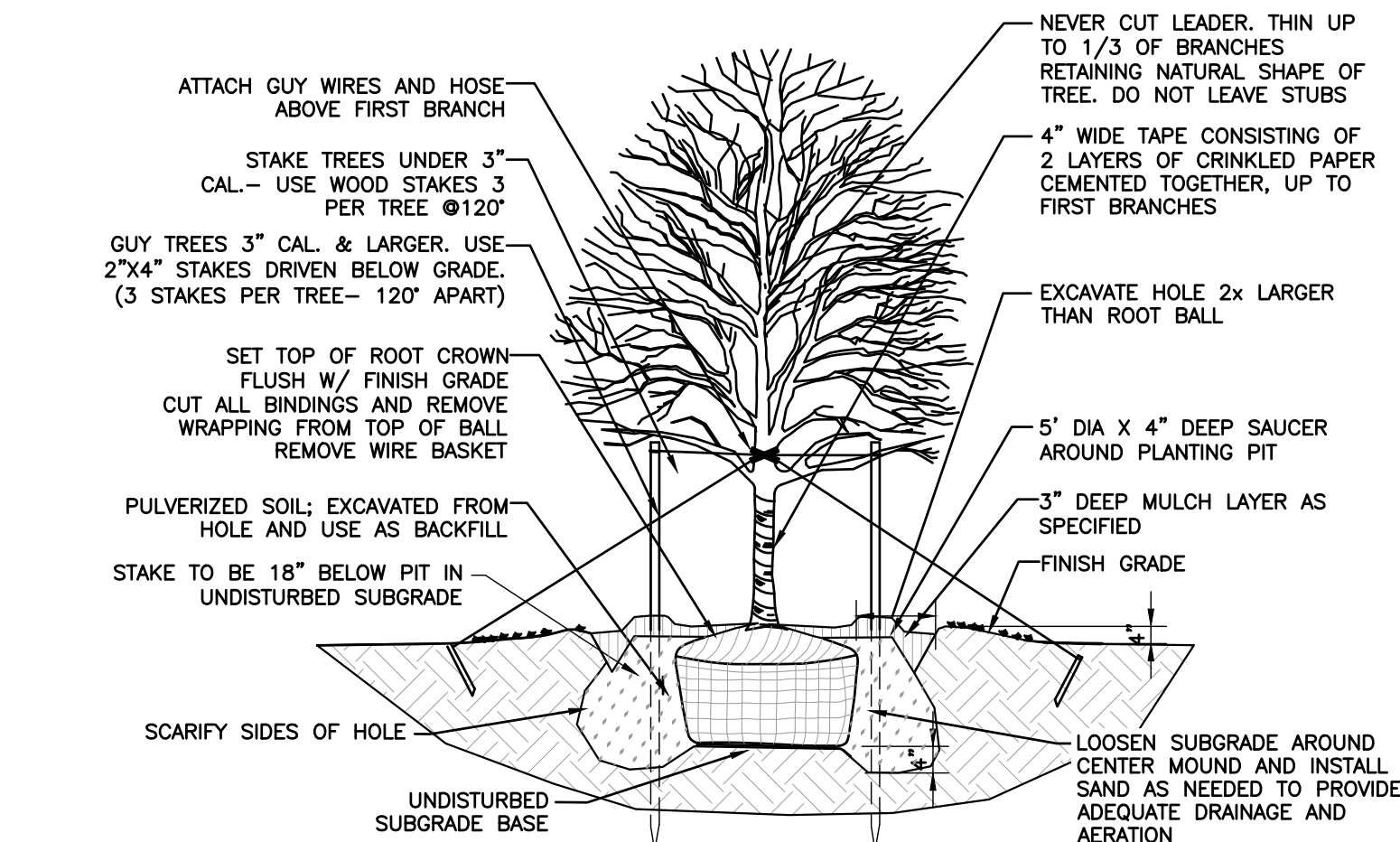
DETAIL 702- SHRUB PLANTING DETAIL

NOT TO SCALE



DETAIL 700- SHADE TREE PLANTING DETAIL

NOT TO SCALE



DETAIL 700- SHADE TREE PLANTING DETAIL

NOT TO SCALE

APPROVED BY DEVENS ENTERPRISE COMMISSION

CHAIRPERSON / DESIGNEE

DATE

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SIZE	
TREES							
	AO	4	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	B&B	3" CAL.		
	AM	4	ACER SACCHARUM 'PNI 0285' TM GREEN MOUNTAIN SUGAR MAPLE	B&B	3" CAL.		
	AG	5	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE APPLE SERVICEBERRY	B&B	CLUMP FORM	6' - 8' HT	
	CE	5	CERCIS CANADENSIS EASTERN REDBUD MULTI-TRUNK	B&B	6'-8' HT.		
	NS	1	NYSSA SYLVATICA TUPELO	B&B	3" CAL		
	UV	4	ULMUS AMERICANA 'VALLEY FORGE' VALLEY FORGE AMERICAN ELM	B&B	3" CAL		
SHRUBS							
	AB4	22	AMSONIA TABERNAEMONTANA 'BLUE ICE' BLUE ICE EASTERN BLUESTAR	NO. 1 CONT.	18" O.C.	12" MIN.	
	AL	12	ARONIA MELANOCARPA 'UCCONAM165' LOW SCAPE MOUND® BLACK CHOKEBERRY	NO. 5 CONT.	3' O.C.	12"-18" HT.	
	BG	20	BUXUS X 'GREEN VELVET' GREEN VELVET BOXWOOD	NO. 5 CONT.	30" O.C.	12"-15" HT	
	CK	15	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	NO. 2 CONT.	30" O.C.	12" MIN.	
	CK2	15	CORNUS SERICEA 'KELSEY' KELSEY'S DWARF RED TWIG DOGWOOD	NO. 5 CONT.	30" O.C.	12"-18" HT.	
	PX	15	DIERVILLA X 'G2X885411' TM KODAK RED DIERVILLA	NO. 5 CONT.	36" O.C.	15"-18" HT	
	HA	21	HEMEROCALLIS X 'ALWAYS AFTERNOON' ALWAYS AFTERNOON DAYLILY	NO. 1 CONT.	24" O.C.	12" MIN.	
	HH	18	HEMEROCALLIS X 'HAPPY RETURNS' HAPPY RETURNS DAYLILY	NO. 1 CONT.	24" O.C.	12" MIN.	
	HL	8	HYDRANGEA PANICULATA 'SMHPLOF' LITTLE QUICK FIRE® PANICLE HYDRANGEA	NO. 5 CONT.	4' O.C.	18"-24" HT	
	HW	15	HYDRANGEA QUERCIFOLIA 'PEE WEE' PEE WEE OAKLEAF HYDRANGEA	NO. 5 CONT.	5' O.C.	24" HT MIN.	
	IC	10	ILEX GLABRA 'CHAMZIN' NORDIC™ INKBERRY HOLLY	NO. 5 CONT.	30" O.C.	12"-15" HT	
	JD	12	JUNIPERUS CHINENSIS 'DAUB'S FROSTED' DAUB'S FROSTED JUNIPER	NO. 5 CONT.	4.5' O.C.	12"-18" HT.	
	JP	12	JUNIPERUS CHINENSIS 'KALLAYS COMPACT' KALLAY COMPACT PFITZER JUNIPER	NO. 5 CONT.	4.5' O.C.	12"-18" HT.	
	PS2	9	PANICUM VIRGATUM 'SHENANDOAH' SHENANDOAH SWITCH GRASS	NO. 2 CONT.	30" O.C.	12" MIN.	
	PN4	2	PICEA ABIES 'NIDIFORMIS' BIRD'S NEST NORWAY SPRUCE	NO. 5 CONT.	5' O.C.	15"-18" HT	
	PG2	2	PICEA PUNGENS 'GLAUCA GLOBOSA' BLUE GLOBE COLORADO SPRUCE	NO. 5 CONT.	5' O.C.	15"-18" HT	
	RF	5	RUDEBECKIA FULGIDA 'EARLY BIRD GOLD' EARLY BIRD GOLD CONEFLOWER	NO. 1 CONT.	24" O.C.	12" MIN.	
	SS	15	SPIRAEA JAPONICA 'LITTLE PRINCESS' LITTLE PRINCESS JAPANESE SPIREA	NO. 5 CONT.	3' O.C.	12"-15" HT MIN.	
	SH	21	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSIDE	NO. 2 CONT.	30" O.C.	12" MIN.	
	SM2	7	SYRINGA MEYERI 'PALIBIN' DWARF KOREAN LILAC	NO. 5 CONT.	4' O.C.	18"-24" HT. MIN.	
	TD	6	TAXUS X MEDIA 'DENSIFORMIS' DENSE ANGLO-JAPANESE YEW	NO. 5 CONT.	5' O.C.	18" MIN	
GROUND COVERS							
	SM	661 SF	STONE MULCH SMOOTH RIVER ROCK	STONE			
	TG2	42,537 SF	TURF GRASS DROUGHT TOLERANT TURF TYPE FESCUE BLEND	SEED			

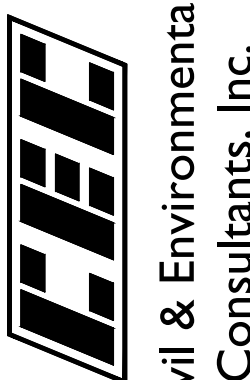
PERMIT SET
NOT FOR CONSTRUCTION



LANDSCAPING DETAIL SHEET

REFRAME SYSTEMS
MULTIFAMILY DEVELOPMENT
25 ADAMS CIRCLE
DEVENS (HARVARD), MASSACHUSETTS

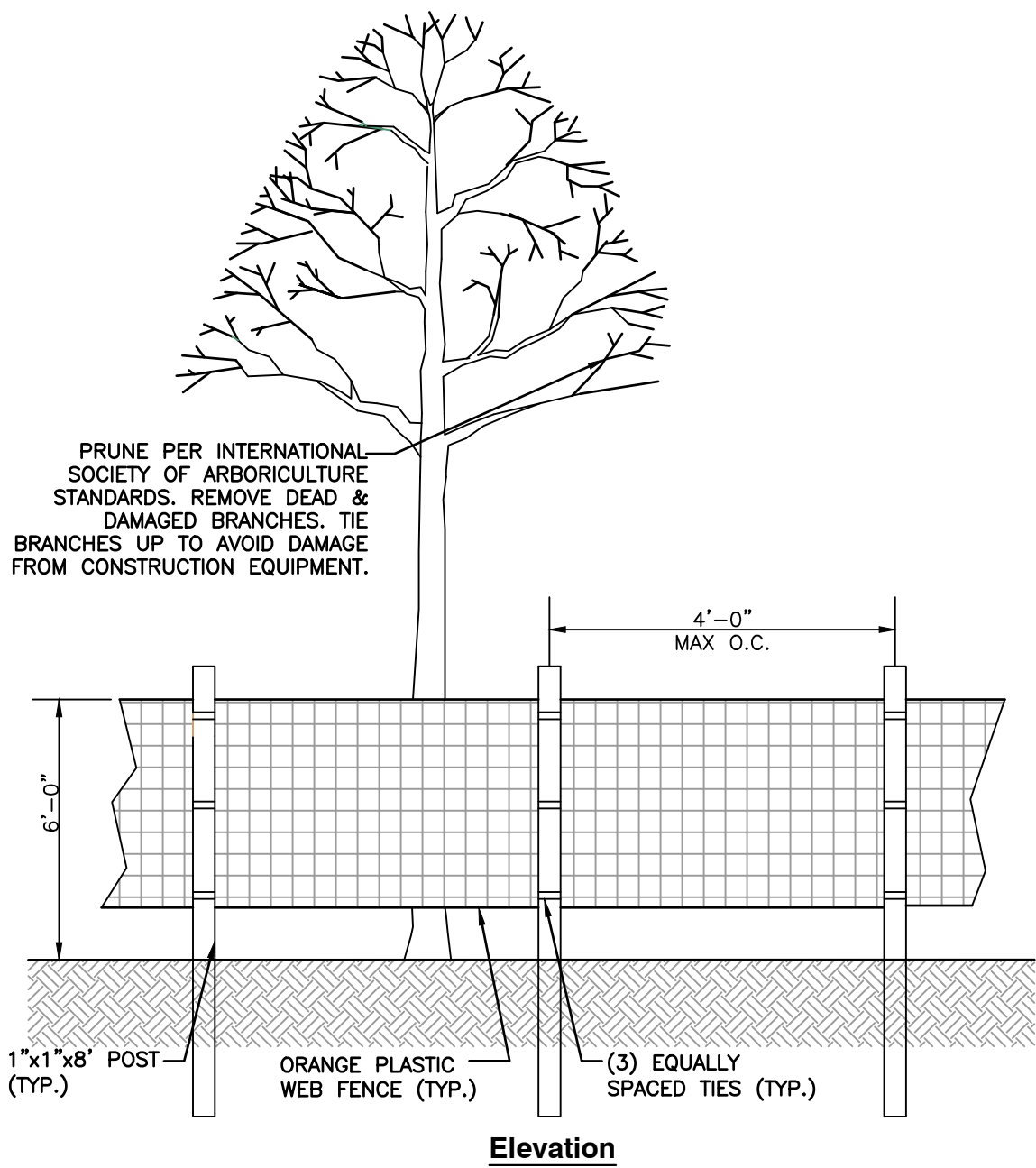
2 Corporation Way
Suite 160
Peabody, MA 01960
Ph: 774.501.2176
www.cecin.com



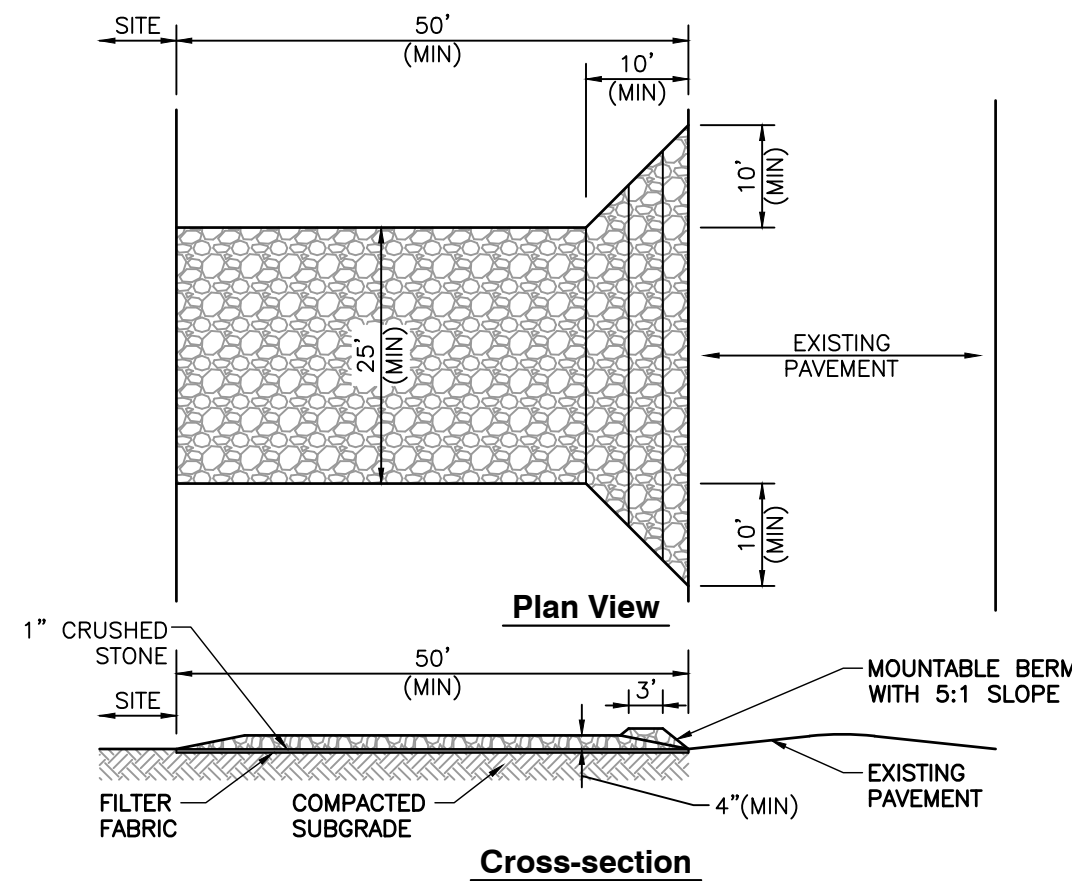
REVISION RECORD		DESCRIPTION
NO	DATE	RESPONSE TO COMMENTS
1	8/15/2025	

DWG SCALE:	DATE:	ITB
PROJECT NO:	JULY 31, 2025	BEP
APPROVED BY:	AS SHOWN	348-019
	CHECKED BY:	MKB

DRAWING NO:
C702
SHEET 13 OF 15

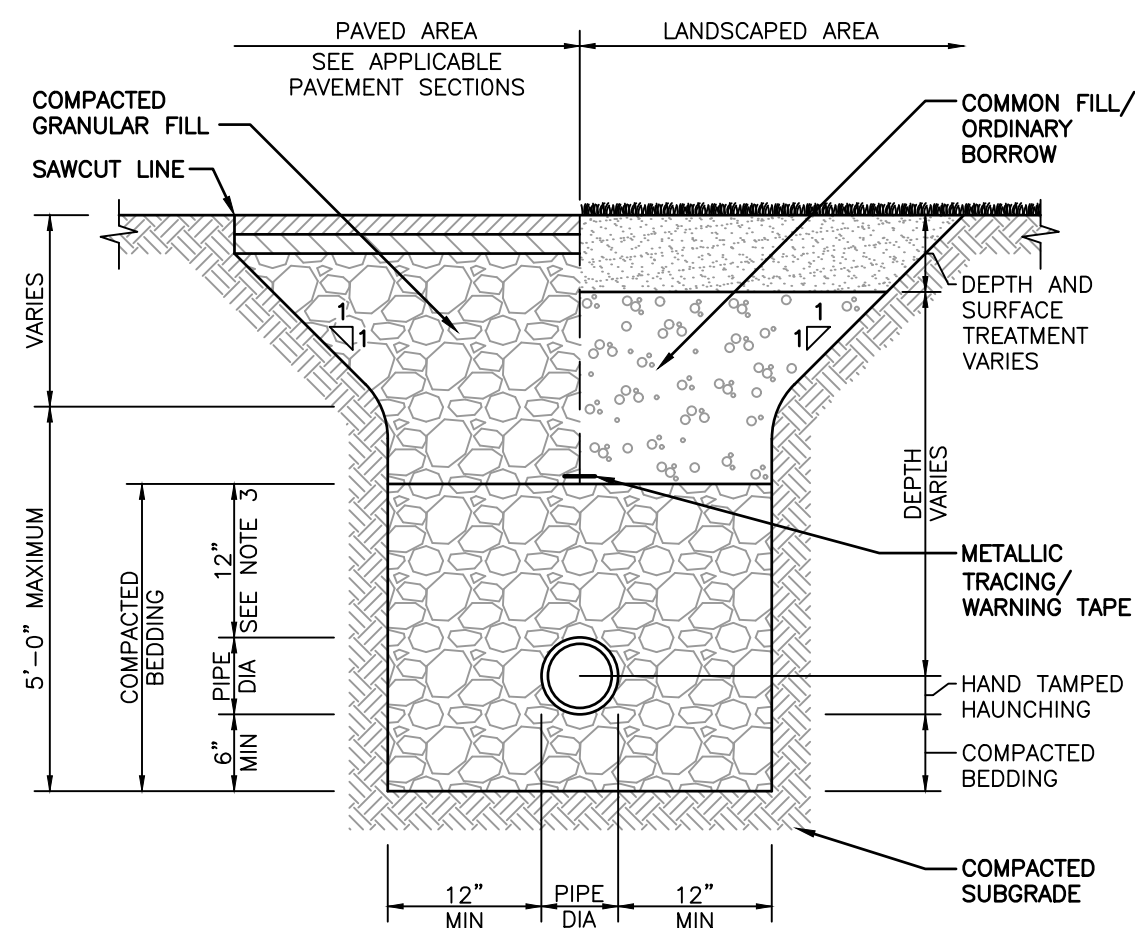


TREE PROTECTION FENCE
N.T.S.



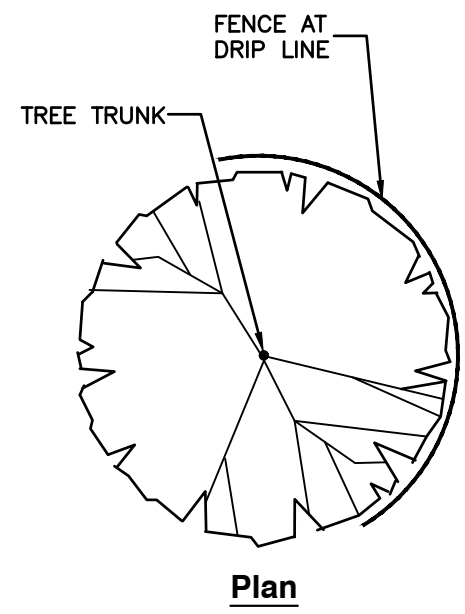
- NOTES:**
- ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 - STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO FINAL FINISHED MATERIALS BEING INSTALLED.

STABILIZED CONSTRUCTION EXIT
N.T.S.

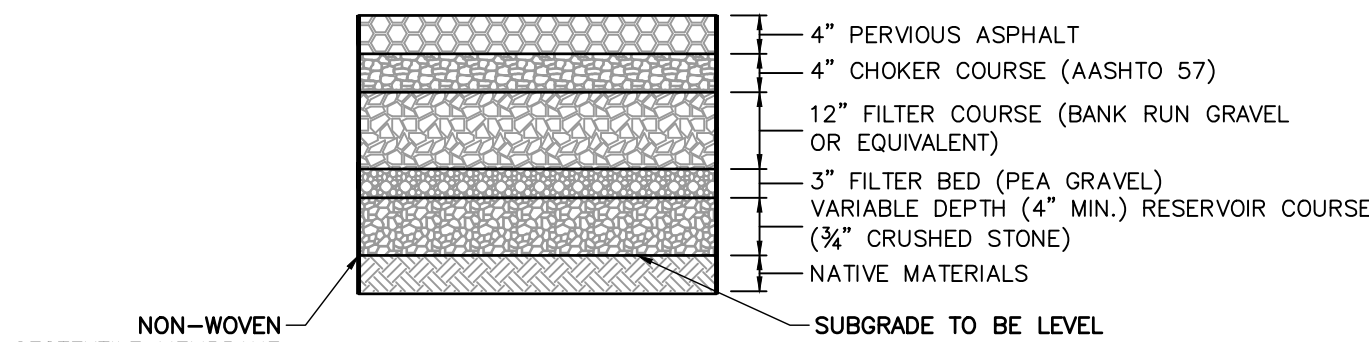


- CONSTRUCTION NOTES**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
 - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
 - FOR HIGH DENSITY POLYETHYLENE (HDPE) PIPE, DIMENSION IS 24 INCHES.

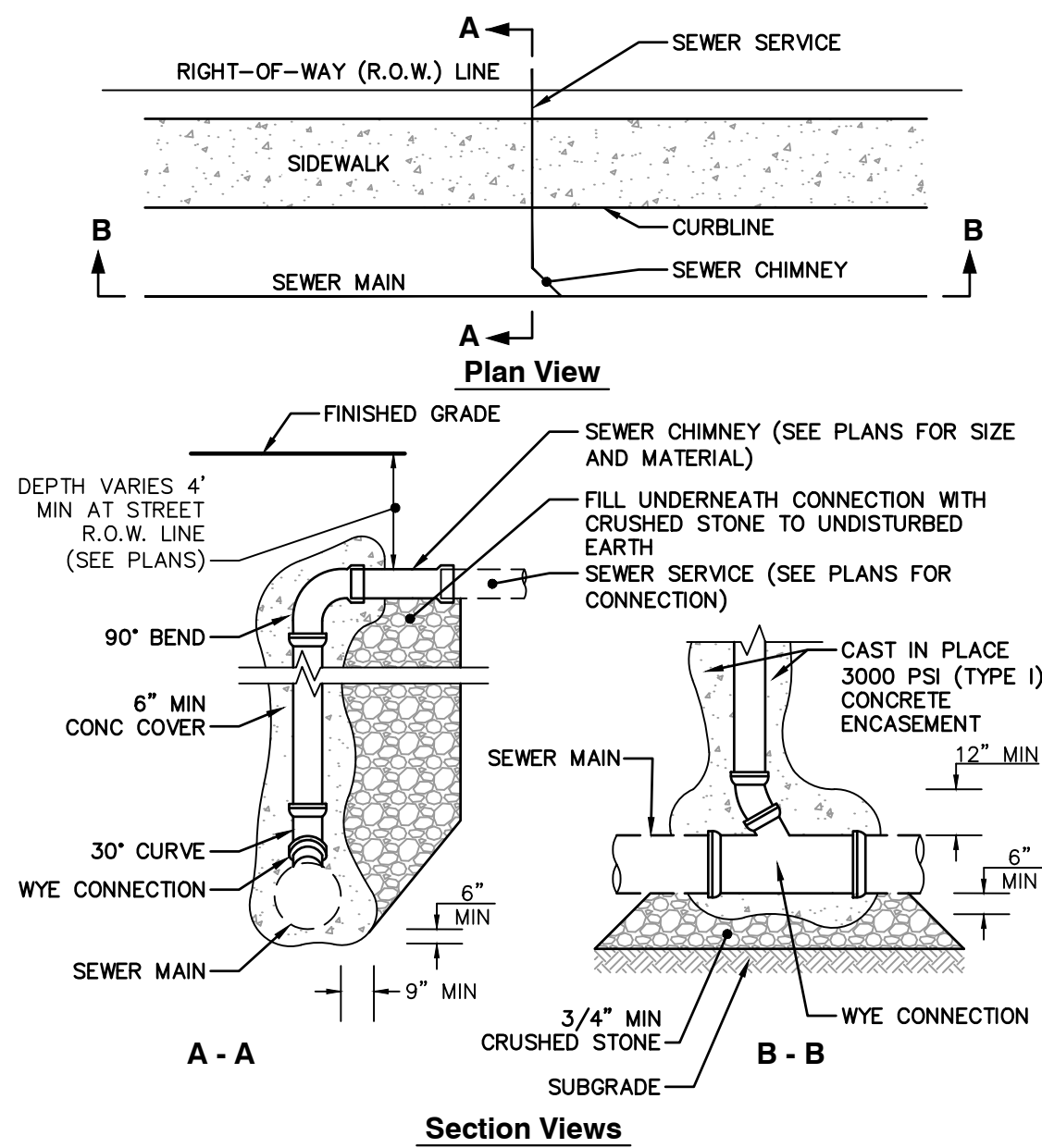
UTILITY TRENCH
N.T.S.



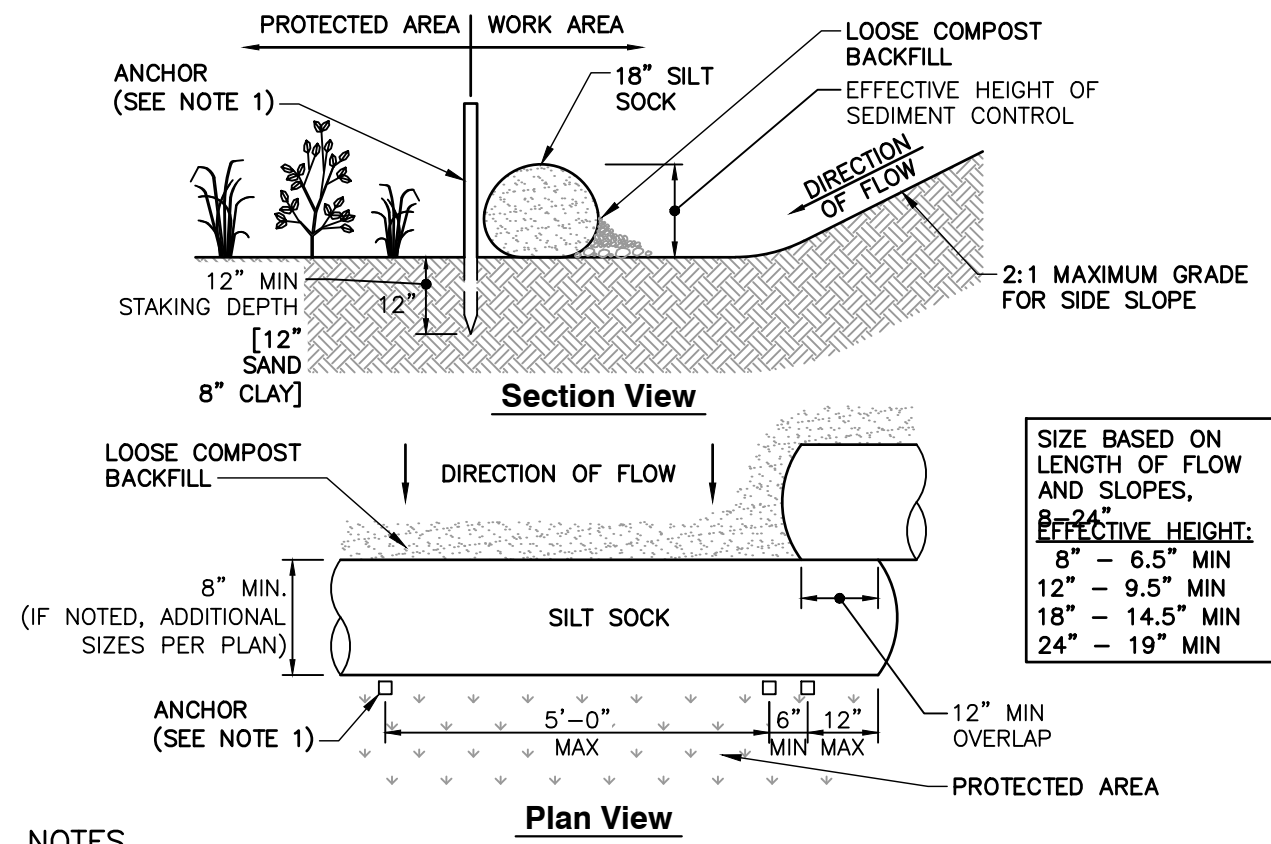
- CONSTRUCTION NOTES**
- INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN
 - IF DRIP LINES OVERLAP, INSTALL CONTINUOUS PROTECTION FENCE FOR MULTIPLE EXISTING TREE TO REMAIN.



POROUS PAVEMENT
N.T.S.

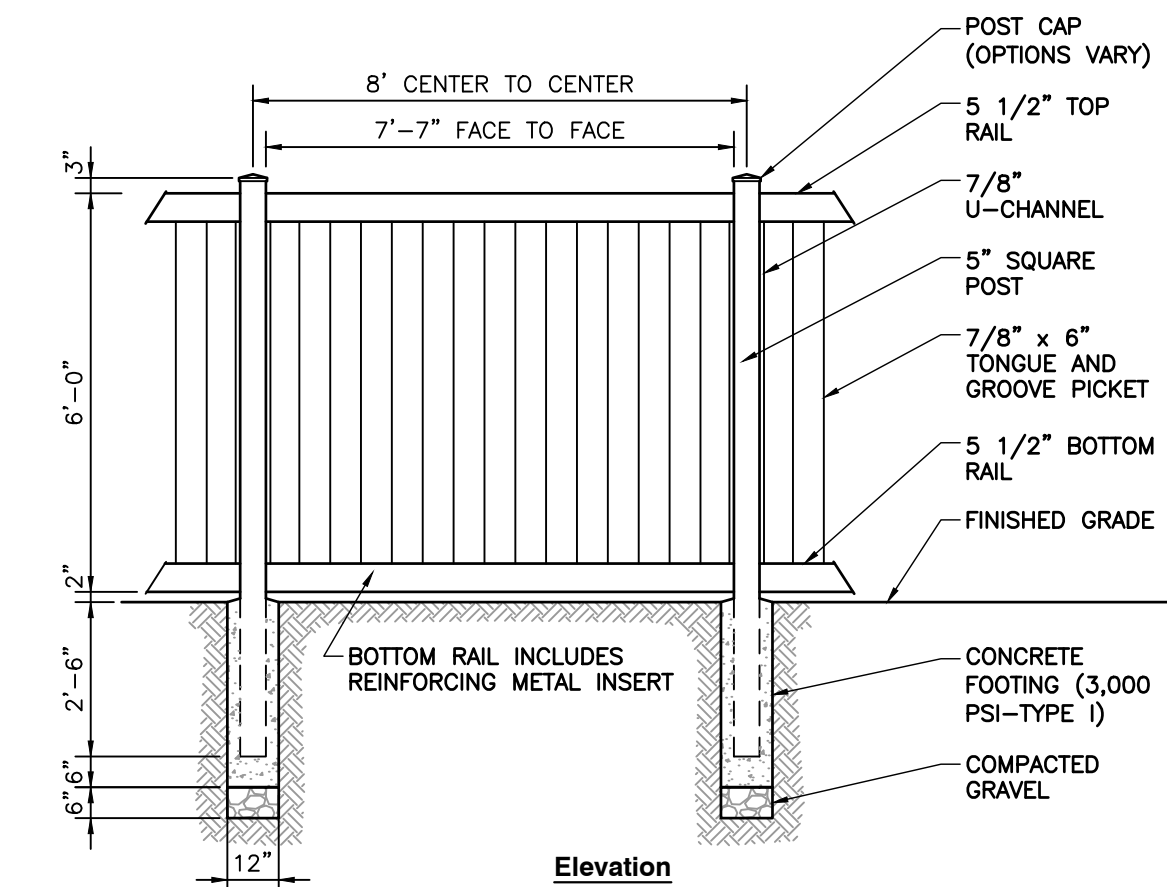


SEWER CHIMNEY SERVICE
N.T.S.



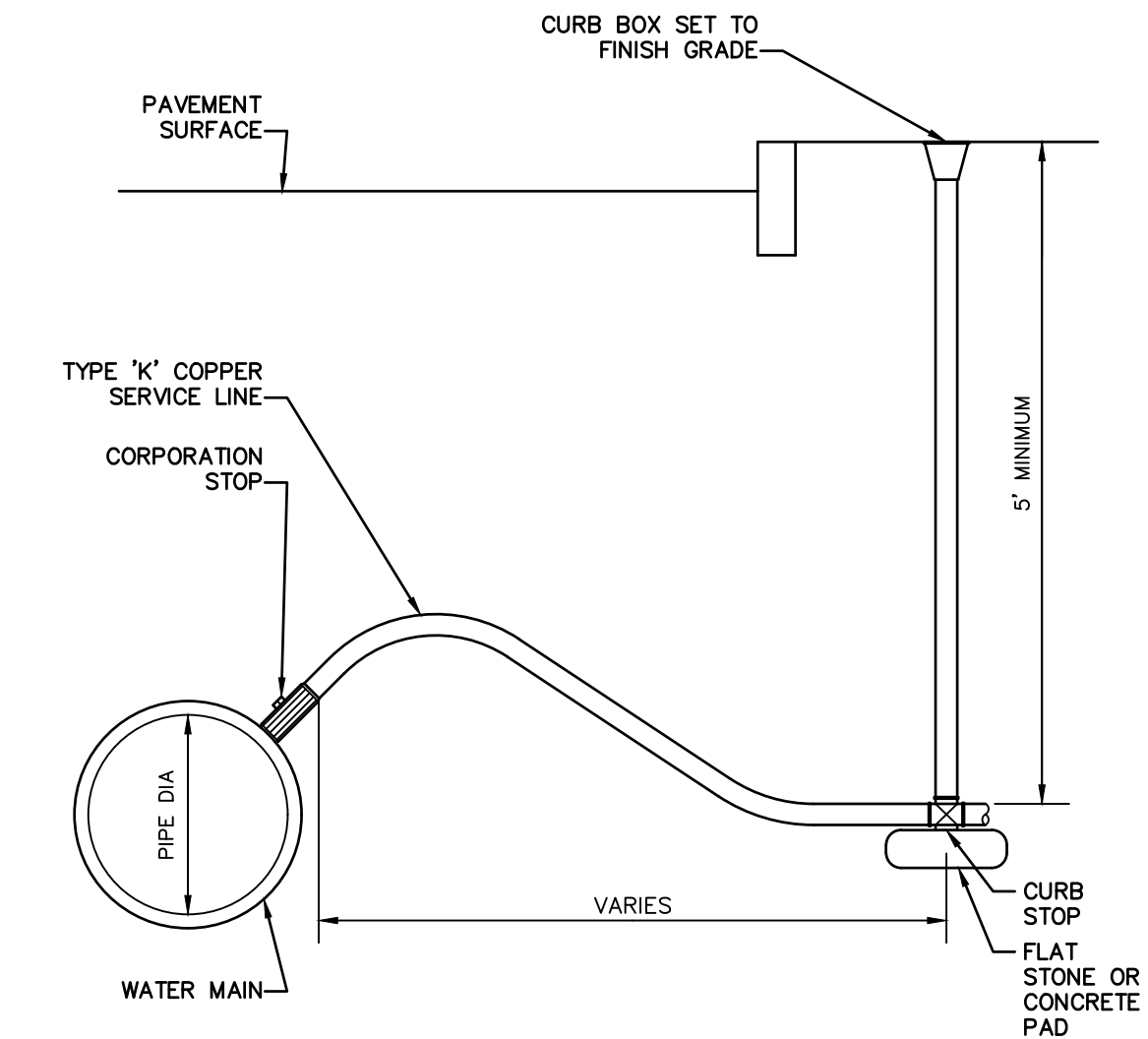
- NOTES**
- ANCHOR TO BE A 2" X 2" X 36" HARD WOOD STAKE, OR APPROVED EQUAL.
 - COMPOST FOR SILT SOCK FILL MATERIAL TO BE PROVIDED BY THE MANUFACTURER IN CONJUNCTION WITH THE ENGINEER TO PROVIDE THE REQUIRED REMOVAL OF SEDIMENT OR OTHER POLLUTANTS FROM RUNOFF.
 - COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE LOCAL CONSERVATION AGENT OR THE DESIGN ENGINEER.
 - SILT SOCK SHALL BE INSPECTED PER LOCAL AND STATE REQUIREMENTS. REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY, AS NEEDED.
 - METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.

SILT SOCK EROSION CONTROL BARRIER
N.T.S.



- NOTES**
- FENCE TO BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
 - POSTS SHALL MAINTAIN A MINIMUM DEPTH OF 2'-6" IN GROUND AND SHALL NOT BE RACKED TO ACCOMMODATE CHANGES IN GRADE.
 - LINE OF FENCE TOP AND BOTTOM SHALL BE INSTALLED STRAIGHT AND TRUE. POSTS AND PICKETS SHALL BE INSTALLED PARALLEL AND PLUMB. RAILS SHALL BE INSTALLED PARALLEL TO GROUND SURFACE AND EACH OTHER.

6' VINYL PRIVACY FENCE
N.T.S.

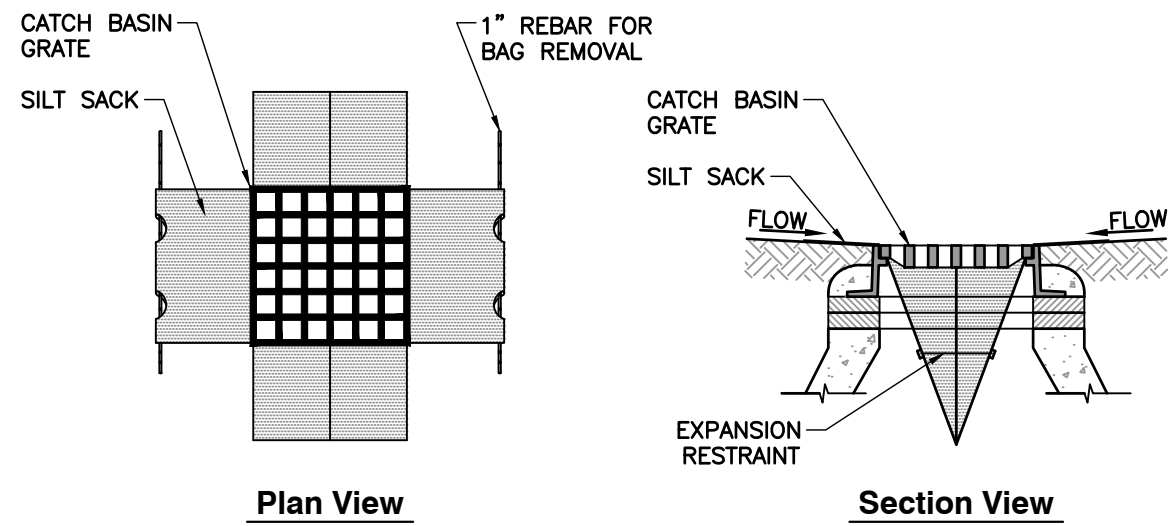


- CONSTRUCTION NOTES**
- INSTALLATION SHALL CONFORM WITH MUNICIPAL WATER WORKS SPECIFICATIONS AND STANDARDS.

CORPORATION / CURB STOP WITH BOX
N.T.S.

APPROVED BY DEVENS ENTERPRISE COMMISSION

CHAIRPERSON / DESIGNEE DATE



- NOTES**
- INSTALL SILT SACKS IN ALL CATCH BASINS WHERE INDICATED ON THE SITE PLANS BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER THE BINDER COURSE IS PLACED AND EROSION CONTROL BARRIERS HAVE BEEN REMOVED.
 - GRATE TO BE PLACED OVER SILT SACK.
 - SILT SACKS SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS. CLEANING OR REPLACEMENT SHALL BE PERFORMED AS NEEDED. MAINTAIN SILT SACKS UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT SACK INLET PROTECTION
N.T.S.

PERMIT SET
NOT FOR CONSTRUCTION



REVISION RECORD	
NO.	DATE
1	8/15/2025

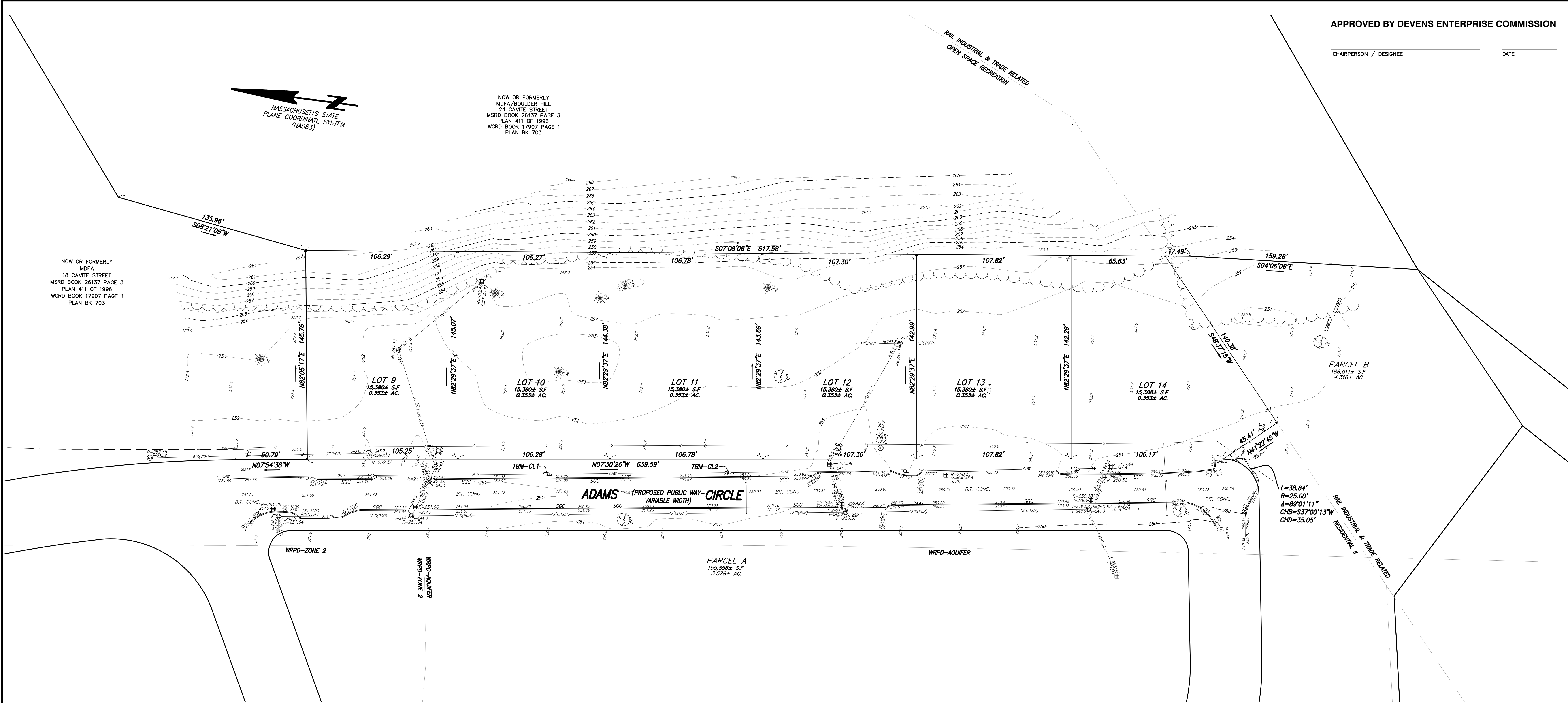
DETAIL SHEET	
DATE:	JULY 31, 2025
DWG SCALE:	AS SHOWN
PROJECT NO:	348-019
APPROVED BY:	MEGHAN K. BRUCKMAN

2 Corporation Way
Suite 160
Peabody, MA 01960
Ph: 774.501.2176
www.cecinco.com

REFRAME SYSTEMS
MULTIFAMILY DEVELOPMENT
25 ADAMS CIRCLE
DEVENS (HARVARD), MASSACHUSETTS

C800

SHEET 14 OF 15



APPROVED BY DEVENS ENTERPRISE COMMISSION

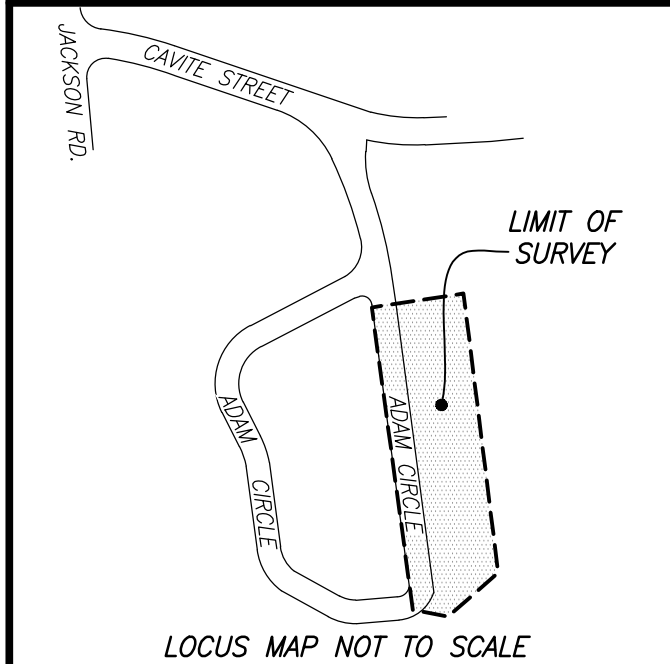
CHAIRPERSON / DESIGNER DATE

FELDMAN
G E O S P A T I A L

BOSTON HEADQUARTERS
152 HAMPDEN STREET
BOSTON, MA 02119

WORCESTER OFFICE
27 MECHANIC STREET
WORCESTER, MA 01608

(617)357-9740
www.feldmangeo.com



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

SELYBY L. TURNER III, PLS
DATE 7/20/2025
STURNER@FELDMANGEO.COM

NOTES:

- BENCH MARK INFORMATION:
BENCH MARK USED:
ELEVATIONS WERE OBTAINED BY GPS OBSERVATIONS ON APRIL 23, 2025.
TEMPORARY BENCH MARKS SET:
TBM-CL1: MAGNAIL SET IN UTILITY POLE LOCATED ON THE EASTERLY SIDELINE OF ADAMS CIRCLE, AS SHOWN HEREON.
ELEVATION = 252.67
TBM-CL1: MAGNAIL SET IN UTILITY POLE LOCATED ON THE EASTERLY SIDELINE OF ADAMS CIRCLE, APPROXIMATELY 126' SOUTHERLY OF TBM-CL1, AS SHOWN HEREON.
ELEVATION = 252.47
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
- PROPERTY LINES AND LOTS SHOWN ARE BASED ON A PLAN PREPARED BY WSP USA INC. TITLED "LEVEL 1 LOTTING PLAN, ADAMS CIRCLE" PREPARED FOR MASSACHUSETTS DEVELOPMENT FINANCE AGENCY, BOSTON MA 02110, DATED 06/12/25. THIS PLAN IS NOT RECORDED AND COULD BE SUBJECT TO PROPERTY LINE CHANGES.
- CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SUFFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 25027C0311E, TOWN OF HARVARD COMMUNITY NUMBER 250308, PANEL NUMBER 0311E, HAVING AN EFFECTIVE DATE OF JULY 4, 2011.
- UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD THE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY FINDINGS SUCH A REPORT MIGHT DISCLOSE.
- THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

OWNER OF RECORD

NOW OR FORMERLY
MASSACHUSETTS DEVELOPMENT FINANCE AGENCY

REFERENCES

WORCESTER COUNTY REGISTRY OF DEEDS
PLAN BOOK 703, PLAN 112
PLAN BOOK 734, PLAN 27
PLAN BOOK 822, PLAN 22
PLAN BOOK 872, PLAN 102
PLAN BOOK 873, PLAN 55
PLAN BOOK 888, PLAN 59
PLAN BOOK 894, PLAN 92
PLAN BOOK 917, PLAN 23
PLAN BOOK 974, PLAN 121

- LEGEND**
- SEWER MANHOLE
 - DRAIN MANHOLE
 - HYDRANT
 - WATER SHUT OFF/WATER GATE
 - GAS SHUT OFF/GAS GATE
 - CATCH BASIN
 - ROUND CATCH BASIN
 - UTILITY POLE
 - UTILITY POLE W/ LIGHT
 - GUY POLE
 - GUY WIRE
 - BOUND FOUND WITH DRILL HOLE
 - IRON ROD
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - BOTTOM OF CURB
 - BITUMINOUS
 - CALCULATED
 - CONCRETE
 - FOUND
 - INVERT ELEVATION
 - IRON ROD
 - JERSEY BARRIER
 - NO VISIBLE PIPES
 - RADIUS OR RIM ELEVATION
 - RECORD
 - RECORD
 - STONE BOUND
 - SLOPED GRANITE CURB
 - TEMPORARY BENCH MARK
 - TOP OF CURB
 - TOP OF DEBRIS
 - TYPICAL
 - UTILITY CONTINUES/UNKNOWN DESTINATION
 - DRAIN
 - GAS
 - OVERHEAD WIRES
 - SEWER
 - WATER
 - PIPE SIZE AND MATERIAL
 - REINFORCED CONCRETE PIPE
 - VITRIFIED CLAY PIPE
 - EDGE OF WOODED AREA

DRAWING NAME:

**EXISTING CONDITIONS
PLAN OF LAND**

**25 ADAMS CIRCLE
DEVENS (HARVARD), MASS.**

DATE: APRIL 24, 2025

REVISIONS:

FILENAME: 2500049-EC.dwg

RESEARCH: TRA/SLT	FIELD CHIEF: CL
PROJ MGR: SLT	APPROVED:
CALC: SLT	CADD: MLM
FIELD CHK:	CRD FILE: 2500049

30 0 15 30 60
SCALE: 1"=30'

SHEET NO. 1 OF 1